

# REPORT TO COUNCIL



Date: February 9, 2012

To: City Manager

From: Land Use Management, Community Sustainability (AW)

Application: DP10-0125 / DVP10-0126

Owner: 0754028 BC LTD.,  
INC. NO. BC0754028

Address: 526 Doyle Avenue

Applicant: New Town Planning Services Inc.

Subject: Development Permit & Development Variance Permit

Existing OCP Designation: Mixed-Use (Residential/Commercial)

Existing Zone: I2 - General Industrial

Proposed Zone: C7 - Central Business Commercial

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## 1.0 Recommendation

THAT Final Adoption of Zone Amending Bylaw No. 10051 be considered by Council;

AND THAT Council NOT authorize the issuance of Development Permit No. DP10-0125 for Lot A, District Lot 139, ODYD, Plan EPP9526, located at 526 Doyle Avenue, Kelowna, B.C.

AND FURTHER THAT the Council NOT authorize the issuance of Development Variance Permit No. DVP10-0126 for Lot A, District Lot 139, ODYD, Plan EPP9526, located at 526 Doyle Avenue, Kelowna, B.C. to vary:

Section 14.7.5 (a) Development Regulations - Height:

To vary the maximum height from 44m permitted to 63.4m (Tower #1) and 74.3m (Tower #2) proposed.

Section 14.7.5 (g) Development Regulations - 80° Inclined Angle:

To vary the inclined plane above 15m from 80° permitted to 86.56° proposed for the western elevation of each tower.

Section 14.7.5 (h) Development Regulations - Floor Plate Area:

To vary the maximum floor plate area for Tower #1:

- from 676m<sup>2</sup> permitted to 822.65m<sup>2</sup> proposed (Floors 5-11);
- from 676m<sup>2</sup> permitted to 716.75m<sup>2</sup> proposed (Floors 12-18).

To vary the maximum floor plate area for Tower #2:

- from 676m<sup>2</sup> permitted to 822.65m<sup>2</sup> proposed (Floors 5-11);
- from 676m<sup>2</sup> permitted to 773.9m<sup>2</sup> proposed (Floors 12-18);
- from 676m<sup>2</sup> permitted to 695.4m<sup>2</sup> proposed (Floors 19-24).

Section 14.7.5 (i) Development Regulations - Horizontal Dimension Above 15m:

To vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed.

Section 14.7.5 (l) (i) Development Regulations - Setbacks above 22m:

To vary the building setback from an interior lot line (north) for portions of a building above 22m from 15m required to 4.47m proposed.

Section 14.7.5 (l) (ii) Development Regulations - Setbacks above 22m:

To vary the building setback from a lot line abutting a lane for portions of a building above 22m from 10m required to 3.63m proposed.

Section 14.7.5 (l) (iii) Development Regulations - Setbacks above 22m:

To vary the separation distance between more than one tower on the same property for portions of a building above 22m from 30m required to 9.29m proposed.

## 2.0 Purpose

A Development Permit for the form and character of the proposed two high rise towers is under consideration. Additionally, the towers cannot be considered without approval of the related variances:

1. Vary the height from 44m permitted to 63.4m (Tower #1) and 74.3m (Tower #2) proposed;
2. Vary the building setback from an interior lot line (north) from 15m required to 4.47m proposed for portions of a building above 22m;
3. Vary the building setback from a lot line abutting a lane from 10m required to 3.63m proposed for portions of a building above 22m;
4. Vary the separation distance between more than one tower on the same property from 30m required to 9.29m proposed for portions of a building above 22m.
5. Vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed;
6. Vary the maximum floor plate area for Tower #1 from 676m<sup>2</sup> permitted to 822.65 m<sup>2</sup> (Floors 5-11) - 716.75 m<sup>2</sup> (Floors 12-18) and for Tower #2 from 676m<sup>2</sup> to 822.65 m<sup>2</sup> (Floors 5-11) - 773.9 m<sup>2</sup> (Floors 12-18) - 695.4 m<sup>2</sup> (Floors 19-24);
7. Vary the inclined plane above 15m from 80° permitted to 86.56° for the western elevation.

## 3.0 Land Use Management

The zoning application was considered by Council at the August 19<sup>th</sup>, 2008 Public Hearing and was sitting at third reading pending completion of the conditions for final approval and consideration of the Development Permit and Development Variance Permit applications. While Staff are supportive of the proposed rezoning to the C7-Central Business District Zone, there are significant concerns with regards to the proposed variances and the overall form and character of the proposed development.

### Urban Design

The applicant team has made significant progress with the overall design of their project, as the proposed streetscaping has been greatly enhanced and the materials, colours and exterior finishing have also been refined. Additionally, the project has been modified to increase the amount of at grade commercial floor space which helps to activate the streetscape. However, the proposed massing is a significant over-development of the site and the design improvements

cannot mitigate this central issue. The C7 - Central Business commercial zone regulations allow for the greatest height and density within the City, however the zone prescribes a building envelope intended to keep buildings relatively slender in profile. This is achieved by stipulating a maximum allowable height, combined with limiting floor plate sizes and dimensions. This approach was intended to minimize interruption of views by large buildings, to limit shadows on adjoining buildings, and to allow sufficient sunlight to reach the street level.

#### Visual Impact Assessment

The attached Visual Impact Assessment shows how significantly the proposed development will impact the surrounding neighbourhood and the Downtown Urban Centre. The proposed development will be the largest and most visible buildings in the City. As a result of the proposed floor plate area and exterior horizontal dimension variances, both of the proposed towers are very bulky. Additionally, as only 9.3m has been proposed for the separation between the two towers, from many perspectives the buildings appear to be one large structure (see attached Visual Impact Assessment). Significant shading and wind tunnelling will also have a negative impact on adjoining properties and the public realm.



#### VariANCES Requested

Although several projects have been constructed since the current C7 zone provisions came into effect, only two projects have been granted variances for concurrent height and floor plate

dimensions. These variances were supported by Staff as the buildings were in prominent locations and of high architectural quality, principally as a result of the exterior materials, level of detail and contextual massing.

1. The 'Madison' is the only project granted variances for both height and floor plate dimensions. These variances were supported by the Land Use Management Department because of the buildings high quality of design. The proposed height variance resulted in three additional storeys, and this was supported due to the gateway location for the Cultural District at the corner of Ellis and Doyle. The building's strong articulation at the intersection was felt to be an appropriate response to the prominence of the site.
2. Notably, the '24' project (ie. Aquilini), proposed for the centre of the downtown core, as part of the overall development proposal will be registering a covenant against the adjacent corner property limiting the allowable height to three storeys to avoid future overbuilding thus reducing the massing of the overall built project. Additionally, a significant amenity contribution was provided towards affordable housing and additional streetscape upgrades within the vicinity of the project. This project also respects the crucial floor plate area regulation and therefore provides a massing that is suitable for a high rise development.

It is also important to note that neither of the projects propose(d) significant variances to both the height and floor plate regulations, whereas, the proposed development does contemplate significant variances to two very critical and influential regulations; a 68.6% increase above the permitted height and a 21.7% increase above the permitted floor plate area have been proposed. It should also be noted that the applicant will be providing cash-in-lieu for 52 parking stalls, to technically meet the zoning bylaw requirements.

#### Downtown Plan

The Downtown Plan Charrette process established general consensus on encouraging additional residential density for Downtown. Community input through the Charrette focused on creating and maintaining a livable city, with strong urban design at the forefront. While taller building heights were generally encouraged, the location, design and spacing of taller buildings were fundamental considerations of the public input process, and support for increased heights. Strong support was given to protect views through spatial separation and architectural expression.

Through this collaborative process the subject property was noted as having the potential to support building heights up to 26 stories. However, these height considerations were balanced with an important 36.5m tower separation provision when floor plates exceed 697m<sup>2</sup>. For this development proposal the recommended limited distance (30m - 36.5m depending on floor plate area) between any two high rise towers would apply to the proposed development's proximity to the Madison which is approximately 15m and the separating distance between proposed towers 1 & 2 is shown as 9.26m. Furthermore, this larger height profile would only be appropriate with a slender tower conforming to the 697m<sup>2</sup> maximum floor plate area as recommended through the Downtown Plan process. Notably, the first 7 stories of each of the proposed high rise towers have a floor plate area of 822.65 m<sup>2</sup> which is well in excess of the maximum allowable.

As identified in the Charrette, it is important to reiterate that the building heights proposed do not imply or recommend that all development reach this maximum height potential. Rather, site-specific consideration of each development is required to ensure an overall improvement to the urban design and public realm of the Downtown. The criteria for the evaluation of tall buildings must assess:

- Contextual fit into the surrounding urban fabric
- Shadowing of the public realm
- View impacts
- Overlook and privacy impacts on neighbouring buildings
- Impacts on the overall skyline
- Distance between adjacent buildings above 22m in height
- Impacts on adjacent or nearby heritage structures
- Building form and massing to mitigate negative impacts of buildings over 22m in height

As shown below, the proposed development does not satisfy the above noted criteria. In order to support a height variance within the Downtown Urban Centre the proposed development would have to be in general conformance these newly established criteria.



### Public Art Gallery Space

The applicant has proposed that one of the commercial retail units (123m<sup>2</sup>) be secured as a public art gallery / studio space (See attached Public Art Proposal). The applicant has noted that the gallery space is for fine art display and marketing by a not-for-profit society dedicated to the support and promotion of culture and the arts. The applicant has also indicated that:

*A covenant is to be registered on title that will prevent the space from being sold and to assure its perpetual use as a gallery for the arts. The initial and subsequent operators are to be registered societies with a mandate to support and promote the arts and culture in Kelowna. A tax credit receipt is being sought from the initial operator. Although the space is a gift, ongoing strata fees, utilities, property taxes or other expenses of ownership are the cost of the Operator. The costs of transfer of title or other legal expenses required for assuming ownership of the Gallery are to be assumed by the Operator. The developer is responsible for creating the Gallery space as a conventional commercial unit ready for the Operator to complete the interior finishes and transfer the unit without cost to the initial Operator.*

While the proposed covenant is an interesting concept and could help to support the arts within the cultural district, the operator will still face significant costs related to transferring title, finishing the space and ongoing operation and maintenance. The details of this covenant have not been fully endorsed by the City's Solicitor, however, if the proposal is approved by Council, the applicant's lawyer will be required to provide a covenant that is appropriately drafted and acceptable to the City's solicitor. The applicant will be responsible for the costs associated with the City Solicitor's review of the legal document.

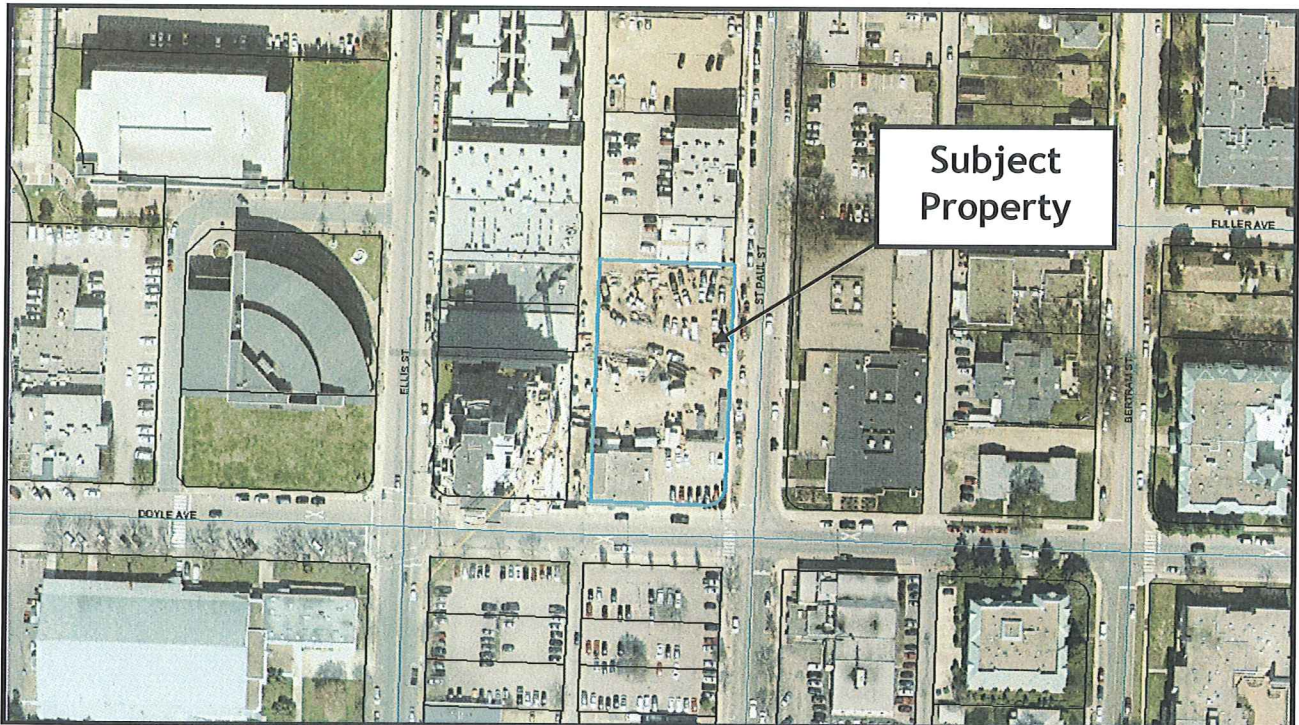
In summary, there are components of the project that recognize the importance of its proximity to the Cultural District, namely the incorporation of 9 live/work units and a community gallery and studio space which will be secured through the covenant (see attached). The project will add additional residential units to the Downtown area which will help to support local businesses, while the subject property is also located in close proximity to the Queensway Transit exchange. The applicant team has also made a number of improvements to the overall design of the project including significant improvements to the quality of streetscaping. However, the high density (7.8 FAR) development proposal is solely dependant on being granted significant variances, including a 30.3m height variance, with minimal additional public benefit or architectural considerations that meet the OCP criteria.

When the APC reviewed the original submission they did not support four of the five variances (there are now 7 variances required). The one variance they did support was for the height and was subject to entering into an affordable Housing Agreement with the City for 25% of the total number of units (the proposed height has increased from the original proposal considered by APC). At this point the applicant has not committed to cash-in-lieu of affordable housing or a Housing Agreement to satisfy the APC's position of support for the height variance. If constructed as proposed, this project would be the tallest and most prominent buildings in the City and would dominate the skyline from all vantage points. The sheer bulk and massing of these two towers do not meet any of the design objectives envisioned for a livable and vibrant Downtown City Centre.

4.0 Proposal  
 4.1 Background

The application has been on hold while the applicant has been working through the design concept and addressing the conditions of final approval. The applicant submitted new Development Permit and Development Variance Permit applications as a result of their modified vision for their project.

4.2 Site Context



The recently consolidated subject property is located in the Downtown Urban Centre in an area of transition on the edge of the downtown. The adjacent land uses are as follows:

| <i>Direction</i> | <i>Zoning Designation</i>                                   | <i>Land Use</i>                            |
|------------------|---|--|
| North            | I2 - General Industrial                                     | Industrial building                        |
| East             | C7 - Central Business Commercial                            | Newspaper office                           |
| South            | C4 - Urban Centre Commercial                                | Parking                                    |
| West             | C7 - Central Business Commercial<br>I4 - Central Industrial | Madison Development<br>Awning manufacturer |

4.3 Project Description

The proposed development has a four storey podium to accommodate the required parking. Commercial, retail and live work units will be wrapped around the exterior of the podium, while the parking will be located at the centre. The wrapping of the commercial units around the exterior of the podium provides the parking structure with a visual buffer and an active streetscape. Two residential towers will be located above the 4 storey podium. In addition to the

four storey podium tower #1 will be 18 storeys for a total of 22 storeys and tower #2 will be 22 storeys for a total of 26 storeys. The project is comprised of a total of 241 residential units (127 one bedroom, 18 one bedroom + den, and 96 two bedroom units) plus 9 live/work units and 13 commercial/office units. The podium for the proposed development has a building depth of approximately 46m, a width of approximately 61m and a height of 14.7m. The towers are set back from the property line and are diamond shaped with each having an exterior horizontal dimension of 37.8m x 31.24m.

The exterior of the proposed buildings are designed to be finished with grey and beige painted concrete, and the commercial retail units will have clear windows while the towers will have bronze tinted windows (See attached Colour Board). The top surface of the podium has been designed to include extensive landscaping, a hot tub, pool and other amenities for the residents of the development. The top of the podium is finished with a metal railing system around the perimeter. The private open space requirements will be met as each unit will have sufficient deck / patio space. In addition residents will have access to approximately 1,858m<sup>2</sup> of open space located on top of the podium.

The proposed streetscaping will be similar to what has been secured through the Madison development which would include street trees, benches and additional landscaping. The applicant has proposed art features that will adorn the building podium. The western lane frontage will have a vine design that to break up the blank wall and the corner of St. Paul and Doyle and the St. Paul lobby entrance will also provide art pieces located near the entranceways. The applicant has also proposed that one of the commercial retail units (123m<sup>2</sup>) be secured as a public art gallery / studio space (See attached Public Art Proposal).

While 7 variances have technically been requested many of the variances apply to each tower, therefore it is important to consider that the project contemplates 11 variances, they are as follows:

1. Vary the height from 44m permitted to 63.4m (Tower #1) and 74.3m (Tower #2) proposed;
2. Vary the building setback from an interior lot line from 15m required to 4.47m proposed for portions of a building above 22m;
3. Vary the building setback from a lot line abutting a lane from 10m required to 3.63m proposed for portions of a building above 22m;
4. Vary the separation distance between more than one tower on the same property from 30m required to 9.29m proposed for portions of a building above 22m.
5. Vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed;
6. Vary the maximum floor plate area for Tower #1 from 676m<sup>2</sup> permitted to 822.65 m<sup>2</sup> (Floors 5-11) - 716.75 m<sup>2</sup> (Floors 12-18) and for Tower #2 from 676m<sup>2</sup> to 822.65 m<sup>2</sup> (Floors 5-11) - 773.9 m<sup>2</sup> (Floors 12-18) - 695.4 m<sup>2</sup> (Floors 19-24);
7. Vary the inclined plane above 15m from 80° permitted to 86.56° for the western elevation.

It should also be noted that the applicant will be providing cash-in-lieu of the required parking spaces. The applicant is providing 226 stalls where 275 stalls are required, and in order to be deemed to meet the parking requirements cash-in-lieu of the required parking will be provided for 52 stalls (52 x \$22,500 = \$1,170,000.00).



The proposal compares to the C7 zone requirements is as follows:

| CRITERIA                                    | PROPOSAL   | C7 ZONE REQUIREMENTS          |
|---|--|-------------------------------|
| Site Area (m <sup>2</sup> )                 | 3,550 m <sup>2</sup>   | 200 m <sup>2</sup>            |
| Site Depth (m)                              | 45.93m   | 6.0m min.                     |
| Site Width (m)                              | 61m  | 30.0m min.                    |
| <b>Development Regulations</b>              |  |                               |
| Site Coverage (%) Buildings                 | 100%   |                               |
| Site Coverage (%) Buildings and Paved areas | 100%   |                               |
| Total Floor Area (m <sup>2</sup> )          | 27,637.9m <sup>2</sup>   |                               |
| F.A.R.                                      | 7.8  | FAR = 9.0 max                 |
| Building Height                             | Tower #1 - 22 storeys / 63.4m (V1)<br>Tower #2 - 26 Storeys / 74.3m (V1)   | 44.0m                         |
| <b>Setbacks - At Grade</b>                  |  |                               |
| Front (St. Paul St.)                        | 0.0m   | 0.0m                          |
| Rear (lane)                                 | 0.0m   | 0.0m                          |
| North Side                                  | 0.0m   | 0.0m                          |
| South Side                                  | 0.0m   | 0.0m                          |
| <b>Setbacks - 15m above grade</b>           |  |                               |
| East - St. Paul Street                      | 3.0m   | 3.0m                          |
| West - lane                                 | 3.6m   | 3.0m                          |
| North - Adjacent property                   | 4.46m  | 4.0m (adjacent parcel)        |
| South - Doyle Avenue                        | 3.0m   | 3.0m                          |
| <b>Setbacks - 22m above grade</b>           |  |                               |
| North - Adjacent property                   | 4.47m (V2)   | 15.0m                         |
| West - lane / Madison                       | 3.63m (V3)   | 10.0m                         |
| Tower Separation (Internal)                 | 9.29m (V4)   | 30.0m                         |
| <b>Floor Plate</b>                          |  |                               |
| FP - Exterior horizontal dimension          | 37.8m x 31.24m (V5)  | 26.0m (max)                   |
| Floor Plate - Diagonal dimension            | 32.46m   | 39m (max)                     |
| Floor Plate - Area                          | <u>Tower #1:</u><br>Floors 5-11 - 822.65 m <sup>2</sup> (V6)<br>Floors 12-18 - 716.75 m <sup>2</sup> (V6)<br>Floors 19-22 - 578.32 m <sup>2</sup><br><br><u>Tower #2:</u><br>Floors 5-11 - 822.65 m <sup>2</sup> (V6)<br>Floors 12-18 - 773.9 m <sup>2</sup> (V6)<br>Floors 19-24 - 695.4 m <sup>2</sup> (V6)<br>Floors 25-26 - 627.6 m <sup>2</sup> | 676 m <sup>2</sup> (max)      |
| Vertical Angle above 15m                    | 86.56° proposed (V7)   | 80° required                  |
| Private Open Space                          | Meets requirement  | 2,690 m <sup>2</sup> required |
| Parking Stalls (#)                          | 226 provided<br>(Cash in lieu for 52 stalls)   | 275 stalls required           |

|                     |                    |  |
|---------------------|--------------------|--|
| Bicycle Parking (#) | Meets Requirements | Class I: 131 spaces<br>Class II: 42 spaces |
| Loading Stalls (#)  | 2 stalls proposed  | 2 stalls required                          |
|                     |                    |  |

- (V1) Vary the height from 44m permitted to 63.4m (Tower #1) and 74.3m (Tower #2) proposed;
- (V2) Vary the building setback from an interior lot line from 15m required to 4.47m proposed for portions of a building above 22m;
- (V3) Vary the building setback from a lot line abutting a lane from 10m required to 3.63m proposed for portions of a building above 22m;
- (V4) Vary the separation distance between more than one tower on the same property from 30m required to 9.29m proposed for portions of a building above 22m.
- (V5) Vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed;
- (V6) Vary the maximum floor plate area for Tower #1 from 676m<sup>2</sup> permitted to 822.65 m<sup>2</sup> (Floors 5-11) - 716.75 m<sup>2</sup> (Floors 12-18) and for Tower #2 from 676m<sup>2</sup> to 822.65 m<sup>2</sup> (Floors 5-11) - 773.9 m<sup>2</sup> (Floors 12-18) - 695.4 m<sup>2</sup> (Floors 19-24);
- (V7) Vary the inclined plane above 15m from 80° permitted to 86.56° for the western elevation.

**5.0 Current Development Policies**

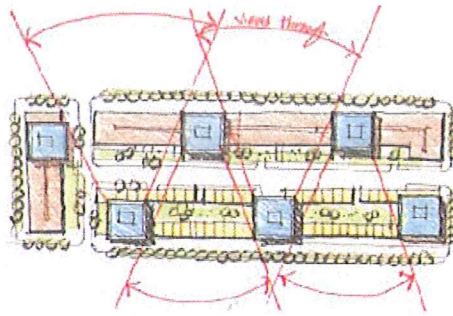
**5.1.1 Development Process (Chapter 5) - Considerations in Reviewing Development Applications<sup>1</sup>**  
**Ensure appropriate and context sensitive built form (Objective 5.5)**

**Building Height (Policy .1).** In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding urban fabric
- Shadowing of the public realm
- View impacts
- Overlook and privacy impacts on neighbouring buildings
- Impacts on the overall skyline
- Distance between adjacent buildings above 22m in height
- Impacts on adjacent or nearby heritage structures
- Building form and massing to mitigate negative impacts of buildings over 22m in height

For all properties where height variances are required, a minimum separation distance of 36.5 m (120 ft.) will be sought between adjacent towers where there are floor plates larger than 697 sq. m (7,500 sq. ft.) and a minimum separation distance of 30.5 m (100 ft) will be sought between towers where floor plates are less than 697 sq. m. (7500 sq. ft.). In addition, where a height variance is required, adequate view corridors shall be provided between towers. For blocks a minimum of 100m in width, any portion of a building above 44.0m should be sited to afford existing surrounding tower development on the same block a 40 degree panoramic view, measured from the closest building face parallel to the lot line fronting a street. (See Diagram 5.1)

<sup>1</sup> Official Community Plan, Pages 9-2 - 9-4



(Diagram 5.1)

Unless existing zoning provides for greater heights, building heights within the areas noted on Map 5.3 should be as noted below:

**City Centre:** For the Downtown area, building heights shall, at maximum, be as noted on the “Downtown Building Heights” map. To achieve those heights, Council may consider variances from the heights set out in the Zoning Bylaw, provided that the additional height (beyond that provided in the Zoning Bylaw) results in the creation of affordable housing or yields other significant community benefits.

- CPTED Guidelines (Policy .2). Require development proponents to demonstrate compliance with the principles of the City’s Crime Prevention Through Environmental Design (CPTED) Guidelines.

#### 5.1.2 Urban Design Development Permit Areas (Chapter 14) - Revitalization Design Guidelines

##### Objectives

- Use appropriate architectural features and detailing of buildings and landscapes to define area character;
- Convey a strong sense of authenticity through high quality urban design that is distinctive of Kelowna;
- Enhance the urban centre’s main street character in a manner consistent with the area’s character;
- Provide for a scale and massing of buildings that promotes an enjoyable living, pedestrian, working, shopping and service experience;
- Encourage an appropriate mix of uses and housing types and sizes;
- Design and facilitate beautiful public open spaces that encourage year-round enjoyment;
- Create open, architecturally-pleasing and accessible building facades to the street; and
- Improve existing streets and sidewalks to promote alternative transportation.

##### Guidelines

###### *Relationship to the Street (Objective 2.0)*

- Ensure streetwall height is proportional (0.75:1 maximum) to the width of the street as measured from building face to building face. Any development that exceeds this height must utilize a podium and step back above the streetwall;
- Provide for public movement, street furniture, and building access zones to be incorporated into sidewalks adjacent to development;
- Design buildings to occupy 100% of a property’s frontage along streets, eliminating elements that disrupt the streetwall such as off-street parking, dead spaces, empty lots, or driveways;

- Coordinate building setbacks with adjacent sidewalks to increase the space for public use (i.e., utilize a building setback or building indentation as a patio space or seating area, incorporate corner rounding into the public realm with specialized paving treatment and street furniture);
- Provide a high quality public realm consistent with the character of urban development (i.e. incorporate focal points/plazas, pedestrian pathways, parks and open space, enhanced streetscapes, and landscaping).

#### **Downtown Considerations**

- Articulate the street façade in a vertical rhythm that is consistent with the traditional subdivision pattern (i.e., maintain the character of narrow buildings and storefronts through changing materials, patterns, reveals, setbacks, façade portions, or design elements to maintain façade widths);
- Incorporate a level of detailing that conveys a sense of craftsmanship consistent with the era in which original downtown buildings were built (i.e., incorporate architectural features such as quoins, traditional brick patterns, pediments, keystones, recessed entrances, etc.);
- Windows should be set back from the building face (as opposed to flush) and include headers and sills;
- Windows at street level should keep the sills low for displays of retail goods and for high visibility into interior spaces;
- Upper floor windows should have vertical proportions where the height is at a minimum, 1.5 times the width;
- Brick and cut stone are preferred building materials, where appropriate. Materials should emulate a range of colours found on prominent buildings located Downtown;
- Incorporate high quality signage utilizing traditional size, style, fonts and design. Prominent and colourful signage creating a rich visual character is encouraged, however, illuminated signs in fluorescent colours are discouraged.

#### ***Building Design (Objective 4.0)***

- Align architectural features from one building to the next. (i.e., building kickplate, top and bottom height of first floor windows, transoms over entranceway, horizontal and vertical proportions of the building, sign band above street level, parapet and cornice line, window sills on upper floors, roof line and proportions);
- Mitigate the effect of shadowing on public areas. A visual assessment sun/shadow study is required for those developments greater than 5 storeys in height;
- Design active facades that incorporate windows and doors on at least 75% of a building's frontage;
- Design buildings with an identifiable base, middle, and top through a change in setbacks, projections, textures, materials, detailing, or other architectural features;
- Incorporate distinctive massing articulation and architectural treatments for corner sites, highly visible building sites, or buildings/portions of buildings that terminate important view corridors (i.e., varying building heights, change in façade plane, additional pedestrian space, large windows, awnings, canopies, arcades, or archways);
- Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity;
- Use architectural elements such as atriums, grand entries and large ground-level windows to reveal active interior spaces;

- Promote pedestrian-scaled architecture along the street through the use of street wall massing, articulation, quality materials and decorative details, textures, colours, lighting, and signage;
- Design buildings with individual entrances leading to streets and pathways rather than lobby entrances;
- Provide ground level access for first storey units within multiple unit residential projects;
- Provide transition zones between the inside and outside of buildings and where applicable, between the public and private realms, with increased setbacks to incorporate courtyards, arcades, plazas, and/or patios;
- Incorporate a high level of transparency (non-reflective and non-tinted glazing) on a minimum of 75% of the first floor elevation for commercial, mixed use, and industrial developments;
- Finish buildings with exterior building materials that are natural, indigenous, durable and appropriate to the character of the development. Recommended building materials include brick, stone, wood and heavy timber, clear glass, metal, composite cement board, and finished in-situ concrete and modular concrete;
- Prohibited building materials include vinyl siding, reflective or nonvision glass, plastic, unpainted or unstained wood, including pressure treated wood, and concrete block;
- Stucco and stucco-like finishes shall not be used as a principal exterior wall material;
- Select exterior building materials that are appropriate to the building face orientation (sun, wind, noise, views) as well as building use and street frontage;
- Vents, mechanical rooms/equipment, and elevator penthouses should be integrated with the architectural treatment of the roof, or be screened with materials and finishes compatible with the building's design.

*View Corridors (Objective 5.0)*

- Preserve and protect existing views, and where possible, create new viewsapes at the pedestrian level for any public or semi-public space;
- Reinforce viewsapes to and from developments (i.e. through the placement of seating, open spaces, circulation routes and massing of buildings);
- Retain extensive views (including from afar) to both the Lake and to the mountains, and special care should be taken with respect to massing of new developments on street ends from the pedestrian level and from other strategic locations;
- Design new developments that take into account the view characteristics of adjacent ground floor public areas, of surrounding buildings as well as the view potential of the proposed building itself.

*Public Art (Objective 8)*

- Incorporate quality public art that:
  - Is located strategically to enhance the visual environment and provide interactive and interpretive experiences;
  - Is complimentary and architecturally enhancing when related to a specific building.

*Tower Design (Objective 9)*

- Design towers that are sited, shaped, and oriented along their longest axis in order to enhance the views to and through the skyline;
- Incorporate tower forms and the upper portions of buildings as integral yet distinct elements of the overall building design. Tower tops are encouraged to have trellising and

roof projections that are fundamental expressions of the building structure and contain substantial landscaping;

- Evaluate tower buildings with respect to their compatibility with surrounding structures and contribution to the general skyline. Tower design should contemplate:
  - Colour, reflectivity, shape, materials, detailing, and ease of maintenance;
  - Generally, lighter-coloured buildings are preferred;
- Incorporate architecture that expresses a slender verticality, particularly in its upper elements. Design buildings greater than ten floors that are tall, slender towers rather than bulkier towers of the same floor space ratio;
- Design new buildings to take into account microclimatic effects, including shading of adjacent areas (i.e., reduce the casting of long shadows on high volume pedestrian areas) and wind tunneling;
- Integrate new developments with the established urban pattern through siting and building design by utilizing transitional structures, setbacks, landscaping, etc.;
- Enhance large, flat expanses of roof (whether actively used or not) with texture, colour, and/or landscaping where visible from above or adjacent properties;
- Enhance towers with elements such as gazebos, trellises, and pergolas providing visual interest and usability of rooftop spaces;
- Incorporate balconies into building design as outdoor rooms rather than as appendages to a building's mass. Recess balconies a minimum depth of 1m within the adjoining building face;
- Design podiums to provide an animated pedestrian environment with the use of street wall massing, articulation, and overall design. Podiums should highlight their active uses and disguise any parking or ancillary uses.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- This building is required to be of non-combustible construction. Any proposed deviance from this requirement of BCBC 06 requires an approved alternate solution report approved prior to the release of the Development Permit.
- A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s).
- A Geotechnical report is required to address the sub soil conditions and potential impact on neighbouring properties. A Geotechnical pier review will be required at time of building permit application.
- A Structural peer review will be required at time of building permit application.
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work etc.
- Integrity and rating of tower exits that are passing by the commercial retail units are to be addressed
- Travel distances are required to meet BCBC 06 for the pool deck level to exit stairwells. This travel distance requirement should be determined prior to the release of the Development Permit

- Guards are required for patio areas & all decks. The drawings provided don't clearly identify this requirement in all drawings. The guards are required to be non climbable and the supplied drawings show guards that appear to be climbable.
- A fire resistance rating is required for garbage enclosure rooms. The drawings submitted for building permit are to clearly identify how this rating will be achieved.
- Vestibule(s) are required to separate parking levels & interior lobbies / occupancies.
- Is the parking levels mechanically inlet and exhaust ducted out the rear elevation of the building.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 6110 for buildings greater than 6 stories are to be shown on the building permit drawings.
- Access to the mechanical rooms at roof level are required
- Size and location of all signage to be clearly defined as part of the development permit
- Awnings over city property require an indemnification agreement(s).

6.2 Development Engineering Department  
See Attached

6.3 Infrastructure Planning

- The construction activity for the new building may damage the existing roadway and underground utilities. Please ensure the applicant provides video inspections of existing conditions for the existing roadway and utilities (water, sewer, drainage, etc.).
- The developer should use the same vocabulary of streetscape elements / palette of materials as that used for the Madison frontages (Ellis Street and Doyle Avenue). The detailing of the sidewalk pattern in the Madison's case related directly to the location of the entrances to the commercial and residential units so obviously, this will not be the same as that of the proposed project. Nevertheless, the general character can be replicated through use of the same surface materials, benches, bollards, vegetation, and the curb let-down detail.
- We should aim for the same tree spacing along Doyle. If this isn't possible, the applicant should explain why this can't be achieved. The tree spacing along St. Paul should be approximately the same but it's acceptable if it varies as long as a regular rhythm of trees is achieved along that frontage. I don't see that the location of the trees in front of the property immediately to the north of the subject site will be a problem from a pedestrian mobility point of view. It should be up to the applicant to show the streetscape transition between the two properties and we can more fully evaluate the situation at that time.
- Urban Braille, as per the Madison frontage should be incorporated. Please encourage the applicant to use CNIB's resources. The CNIB contact info is attached.
- Also, please note the sidewalk fillet that the Madison provided between its property and the property immediately to the north of its site along Elis Street. This idea came out of the Ellis Street streetscape plan which although in advanced draft form, has never made it to Council for endorsement. Nevertheless, we would expect the applicant to provide this detail.

6.4 Fire Department

The developer is required to supply the requirements in the City of Kelowna Fire Prevention Bylaw for high buildings. Additional comments will be required at the Building Permit application.

6.5 Interior Health Authority  
See Attached.

7.0 Application Chronology

Date of Application Received: September 10, 2010 (Revised DP/DVP)

Advisory Planning Commission June 17, 2008

The above noted application was reviewed by the Advisory Planning Commission at the meeting on June 17, 2008 and the following recommendations were passed:

THAT the Advisory Planning Commission support Rezoning Application No. 07-0056, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to rezone the subject properties from the existing I2 - General Industrial zone to the proposed C7 - Central Business District Commercial zone.

*Although the APC supported the rezoning application, four of the five proposed variances were not supported for the following reasons:*

THAT the Advisory Planning Commission support Development Variance Permit Application No. DVP08-0079, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to obtain a Development Variance Permit to vary the height from 44m permitted to 54.3m for Tower #1 and 65m for Tower #2 subject to entering into an Affordable Housing Agreement with the City for 25% of the total units.

THAT the Advisory Planning Commission NOT support Development Variance Permit Application No. DVP08-0079, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Sec. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to obtain a Development Variance Permit to vary the inclined plane above 15m elevation from 80° required to 85.6°/86.5° off the lane, 89.6° off Doyle Avenue and 86.4°/86.9° off St. Paul Street.

APC Anecdotal Comment:

- This particular variance would not be necessary if there was more articulation and reduction in the floor plate of the buildings.

THAT the Advisory Planning Commission NOT support Development Variance Permit Application No. DVP08-0079, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to obtain a Development Variance Permit to vary the maximum area of floor plate from from 676m<sup>2</sup> permitted to 831.9m<sup>2</sup> - 820.7 m<sup>2</sup> - 774.8 m<sup>2</sup> proposed.



APC Anecdotal Comment:

- It is imperative that the developer be forced to keep the buildings taller and slender within this C7 zone, to preserve daylighting and viewscales within the C7 public realm.

THAT the Advisory Planning Commission NOT support Development Variance Permit Application No. DVP08-0079, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to obtain a Development Variance Permit to vary the maximum exterior horizontal dimension above 15m from 26m permitted to 38.9m x 31.7m for both proposed towers.

APC Anecdotal Comment:

- It is imperative that the developer be forced to keep the buildings taller and slender within this C7 zone.

THAT the Advisory Planning Commission NOT support Development Variance Permit Application No. DVP08-0079, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to obtain a Development Variance Permit to vary the setbacks above 15m from 3.0m required to 1.5m for the Doyle Avenue frontage and 2.7m for the St. Paul Street frontage.

APC Anecdotal Comment:

- As the Members were unable to ascertain the actual setback variance being requested, the consensus was that the setback is more substantial than originally thought.

THAT the Advisory Planning Commission support Development Permit Application No. DP08-0078, for 526 Doyle Avenue, 1372-1374, 1378, 1382 & 1386 St. Paul Street, Lots 16, 12, 13, 14, 15, Plan 432, Secs. 24 & 25, Twp. 25, ODYD, by 754028 BC Ltd. (Points West Architecture), to authorize construction of a mixed use development consisting of two residential towers (19 & 23 storeys total) located above a three storey podium.

APC Anecdotal Comment:

- The Members felt that most of the requested variances could be overcome and avoidable if the applicant conformed to the C7 guidelines and the design was amended.
- The Members would like to be assured of a formal commitment to built-green or LEED certification with respect to sustainability of the project.
- It was also noted that the Members have now approved a Development Permit that cannot be moved forward based on the negative support of the majority of the variances.
- The Members confirmed that there is no issue with the height of the project and that their concern lies with the variances being requested and that is the basis for the 'approval in principle' of the Development Permit.

## 8.0 Alternate Recommendation

Should Council choose to support the proposed development the following is recommended:

THAT Final Adoption of Zone Amending Bylaw No. 10051 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP10-0125 Lot A, District Lot 139, ODYD, Plan EPP9526, located at 526 Doyle Avenue, Kelowna B.C., subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape and Public Art Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
5. The applicant provide a cash-in-lieu payment prior to issuance of the Development Permit of the required parking in the sum of \$1,170,000.00 to satisfy the 52 parking stall shortfall prior to issuance of the Development Permit.
6. The applicant's lawyer is required to provide a covenant that is appropriately drafted and acceptable to the City's solicitor at the applicant's expense with respect to securing 123m<sup>2</sup> of community art space. The applicant be required to register the proposed covenant securing the public art gallery/studio space prior to issuance of the Development Permit.

AND THAT the applicant be required to complete the above-noted condition No. 4 and No. 5 within 180 days of Council approval of the Development Permit application in order for the permit to be issued.

AND THAT Council authorize the issuance of Development Variance Permit No. DVP10-0126 Lot A, District Lot 139, ODYD, Plan EPP9526, located at 526 Doyle Avenue, Kelowna, B.C.;

AND FURTHER THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 (a) Development Regulations - Height:

To vary the maximum height from 44m permitted to 63.4m (Tower #1) and 74.3m (Tower #2) proposed.

Section 14.7.5 (g) Development Regulations - 80° Inclined Angle:

To vary the inclined plane above 15m from 80° permitted to 86.56° proposed for the western elevation of each tower.

Section 14.7.5 (h) Development Regulations - Floor Plate Area:

To vary the maximum floor plate area for Tower #1:

- from 676m<sup>2</sup> permitted to 822.65m<sup>2</sup> proposed (Floors 5-11);
- from 676m<sup>2</sup> permitted to 716.75m<sup>2</sup> proposed (Floors 12-18).

To vary the maximum floor plate area for Tower #2:

- from 676m<sup>2</sup> permitted to 822.65m<sup>2</sup> proposed (Floors 5-11);
- from 676m<sup>2</sup> permitted to 773.9m<sup>2</sup> proposed (Floors 12-18);
- from 676m<sup>2</sup> permitted to 695.4m<sup>2</sup> proposed (Floors 19-24).

Section 14.7.5 (i) Development Regulations - Horizontal Dimension Above 15m:

To vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed.

Section 14.7.5 (l) (i) Development Regulations - Setbacks above 22m:

To vary the building setback from an interior lot line (north) for portions of a building above 22m from 15m required to 4.47m proposed.

Section 14.7.5 (l) (ii) Development Regulations - Setbacks above 22m:

To vary the building setback from a lot line abutting a lane for portions of a building above 22m from 10m required to 3.63m proposed.

Section 14.7.5 (l) (iii) Development Regulations - Setbacks above 22m:

To vary the separation distance between more than one tower on the same property for portions of a building above 22m from 30m required to 9.29m proposed.

Report prepared by:



Alec Warrender, Urban Land Use Planner

Reviewed by:



Shelley Gambacort Director, Land Use Management

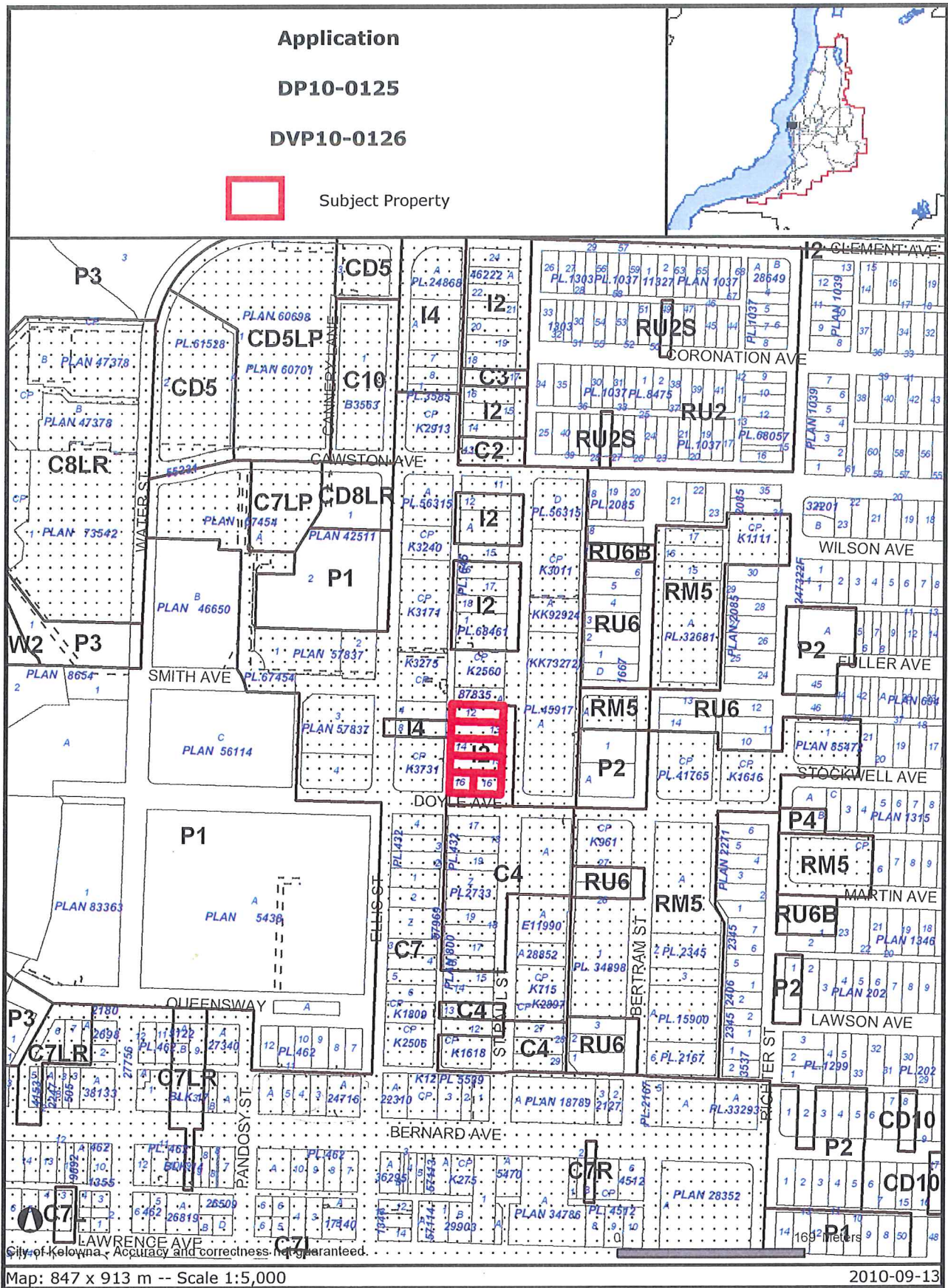
Approved for inclusion:



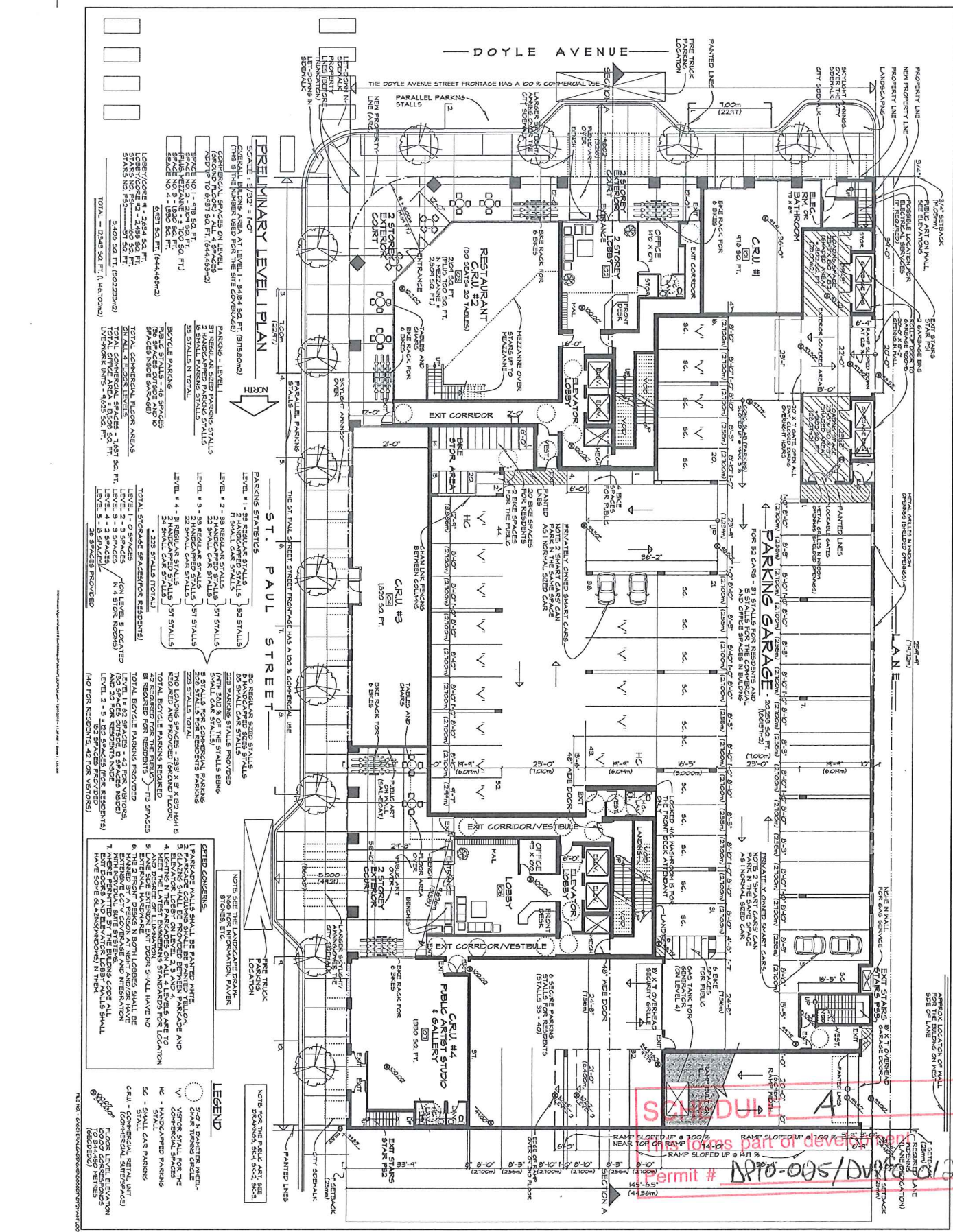
J. Paterson General Manager, Community Sustainability

**Attachments:**

Site Plan  
Elevations  
Colour Board  
Landscape Plan  
Excerpts from Visual Impact Assessment  
Development Engineering Requirements  
Sustainability Checklist



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.



**PRELIMINARY LEVEL PLAN**  
 SCALE: 1/8" = 1'-0"  
 SHEET NO. 1 OF 2  
 THE DOYLE AVENUE STREET FRONTAGE HAS A 100% COMMERCIAL USE PARALLEL PARKING STALLS

**PARKING STATISTICS**  
 LEVEL #1 - 10 REGULAR SPACES, 20 SMALL CAR SPACES, 20 BICYCLE SPACES  
 LEVEL #2 - 10 REGULAR SPACES, 20 SMALL CAR SPACES, 20 BICYCLE SPACES  
 LEVEL #3 - 10 REGULAR SPACES, 20 SMALL CAR SPACES, 20 BICYCLE SPACES  
 LEVEL #4 - 10 REGULAR SPACES, 20 SMALL CAR SPACES, 20 BICYCLE SPACES  
 TOTAL REGULAR SPACES: 40  
 TOTAL SMALL CAR SPACES: 80  
 TOTAL BICYCLE SPACES: 80

**ST. PAUL STREET**  
 THE ST. PAUL STREET STREET FRONTAGE HAS A 100% COMMERCIAL USE PARALLEL PARKING STALLS

**LEGEND**  
 CRU - COMMERCIAL USE  
 HC - HANDICAPPED PARKING  
 SC - SMALL CAR PARKING  
 BIC - BICYCLE PARKING  
 REG - REGULAR SPACES  
 SMC - SMALL CAR SPACES  
 BIC - BICYCLE SPACES

**CRU #1**  
 750 SQ. FT.  
 2 STOREY  
 RESTAURANT  
 2000 SQ. FT.  
 2 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #2**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #4**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #3**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**PARKING GARAGE**  
 20235 SQ. FT.  
 5 STORIES  
 80 REGULAR SPACES  
 80 SMALL CAR SPACES  
 80 BICYCLE SPACES

**CRU #1**  
 750 SQ. FT.  
 2 STOREY  
 RESTAURANT  
 2000 SQ. FT.  
 2 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #2**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #4**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #3**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #1**  
 750 SQ. FT.  
 2 STOREY  
 RESTAURANT  
 2000 SQ. FT.  
 2 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**CRU #2**  
 1350 SQ. FT.  
 1 STOREY  
 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
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**CRU #4**  
 1350 SQ. FT.  
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 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
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**CRU #3**  
 1350 SQ. FT.  
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 PUBLIC ARTIST STUDIO  
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**CRU #1**  
 750 SQ. FT.  
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 RESTAURANT  
 2000 SQ. FT.  
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 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
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**CRU #2**  
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**CRU #4**  
 1350 SQ. FT.  
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 PUBLIC ARTIST STUDIO  
 1350 SQ. FT.  
 1 STOREY

**REVISIONS**  
 1. 10/16/16 - REVISED AND SUBMITTED FOR PERMIT  
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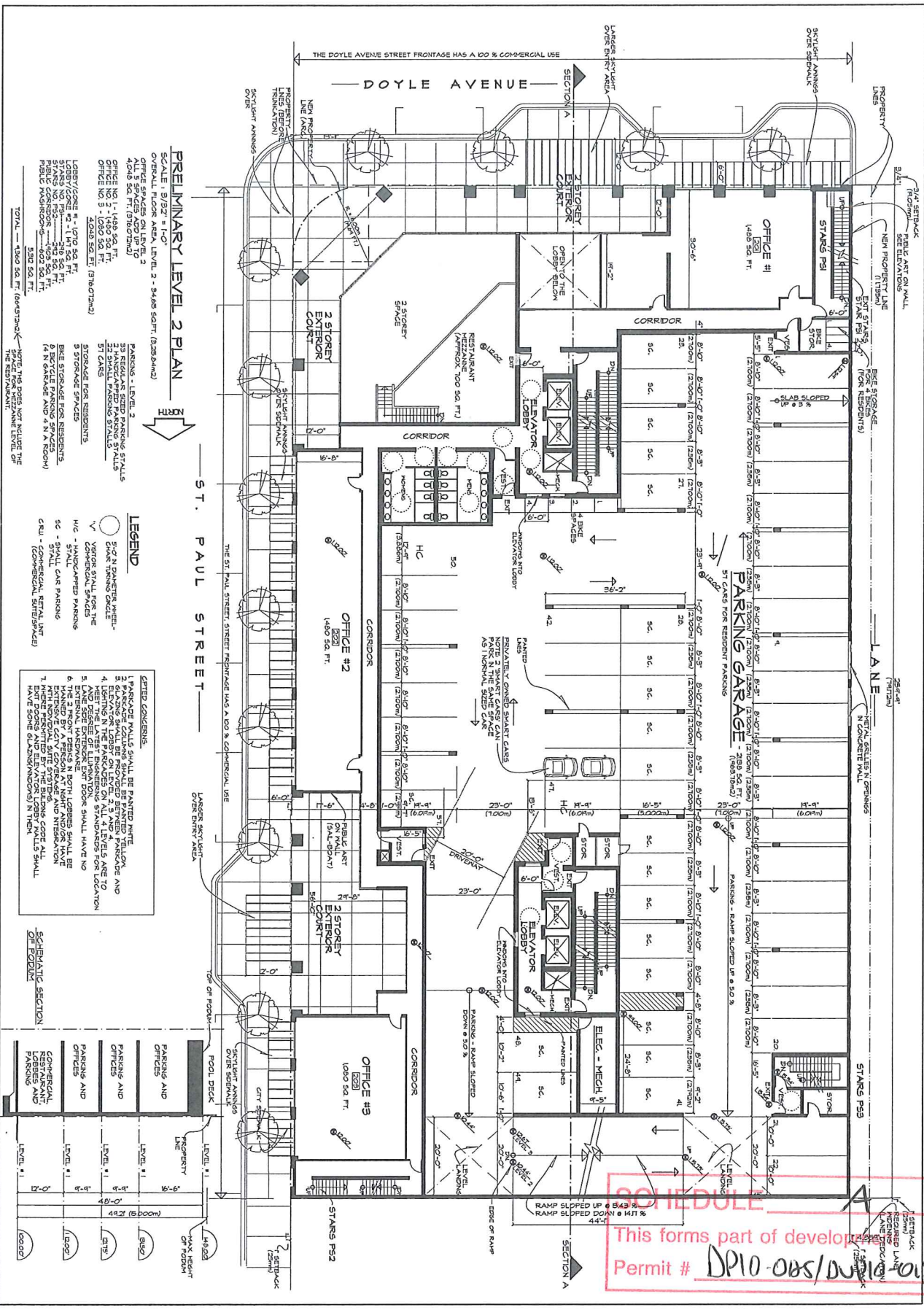
**CONSULTANT:**  
 points west ARCHITECTURE  
 203 - 210 W. RAYBY BL.  
 ABBOTSFORD, B.C.  
 V2B 2Z2  
 PHONE: 604-884-8888  
 FAX: 604-884-8808  
 EMAIL: info@pointswest.ca

**PROJECT:**  
 DOYLE AVENUE  
 2-HI-RISE PROJECT  
 - THE MONACO -  
 250 CONDOMINIUMS COMMERCIAL  
 & OFFICE SPACES  
 DOYLE AVENUE & ST. PAUL STREET  
 RICHMOND, B.C.

**DRAWING TITLE:**  
 PRELIMINARY  
 LEVEL 1  
 FLOOR PLAN  
 (GROUND FLOOR)

**JOB NO.:**  
 0712

**SHEET NO.:**  
 DP-2



**PRELIMINARY LEVEL 2 PLAN**

SCALE: 1/8" = 1'-0"

OVERALL FLOOR AREA: LEVEL 2 - 34,465 SQ.FT. (2,328,842)

OFFICE SPACES ON LEVEL 2

OFFICE NO. 1 - 1,480 SQ. FT.

OFFICE NO. 2 - 1,480 SQ. FT.

OFFICE NO. 3 - 1,000 SQ. FT. (918,072)

LOBBY/RECEPTION - 1,070 SQ. FT.

STAIRS - 1,148 SQ. FT.

RESTROOMS - 1,148 SQ. FT.

FILE WORKROOMS - 402 SQ. FT.

392 SQ. FT.

TOTAL - 14,800 SQ. FT. (64,972)

**LEGEND**

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**ENTERED CONCERNS**

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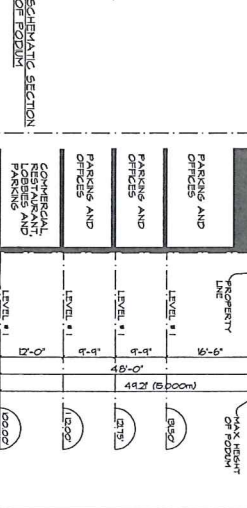
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**PROJECT:**  
DOYLE AVENUE  
2-HRISES PROJECT  
- THE MONACO -  
299 CONDOMINIUM, COMMERCIAL  
& OFFICE BRANCH  
DOYLE AVENUE & ST. PAUL STREET  
BETHLEHEM, PA

**DATE:** MAY 2008  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** SI

**DRAWING TITLE:**  
PRELIMINARY  
LEVEL 2  
FLOOR PLAN

**JOB NO.:** 0712  
**SHEET NO.:** DP-3

**points west**  
ARCHITECTURE

203 - 200 W. Ralway St.  
Bethlehem, PA 18018  
610-752-1111  
www.pointswest.com

**CONSULTANT:**

**REVISIONS:**

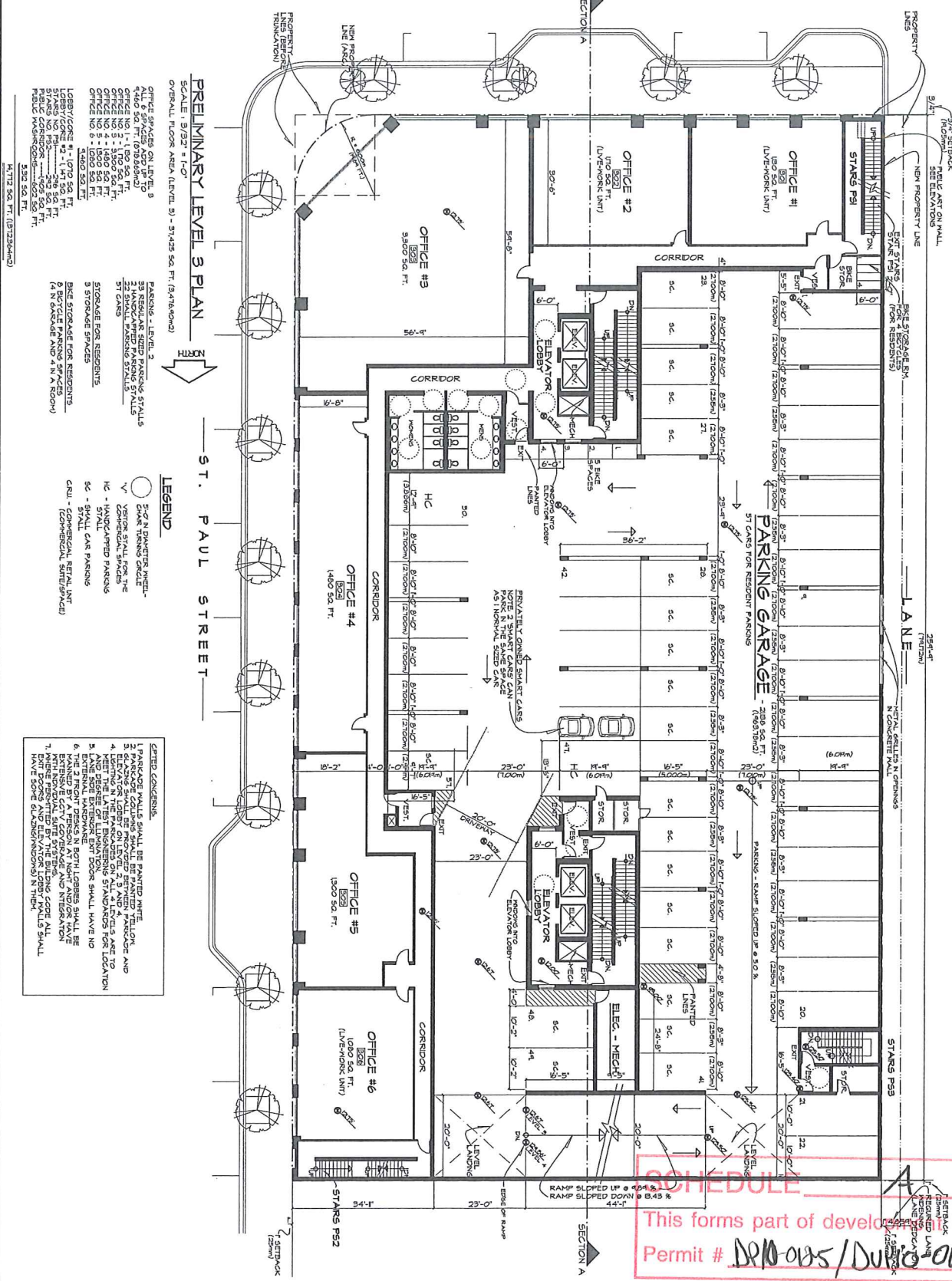
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW  
NOV. 21, 2007 - REVISED AND SUBMITTED FOR PERMIT REVIEW

**PERMIT #** DP10-085/DUP10-0126

**SCHEDULED**

This forms part of development Permit # DP10-085/DUP10-0126

DOYLE AVENUE



**PRELIMINARY LEVEL 3 PLAN**  
 SCALE: 3/8" = 1'-0"  
 OVERALL FLOOR AREA (LEVEL 3) - 31,435 SQ. FT. (2,917,900 CM<sup>2</sup>)

**LEGEND**

- SCHED IN PARTS WHEN DARK TRACING CIRCLE
- VISION STALL FOR THE CORRIDOR SPACES
- HC - HANDICAPPED PARKING
- SC - SMALL CAR PARKING
- CRU - COMMERCIAL RETAIL UNIT (CONCRETE RETAIL UNIT)

**NOTED CONCERNS:**

1. PARKING WALLS SHALL BE PAINTED WHITE.
2. SIGNAGE SHALL BE PROVIDED BETWEEN PARKING AND OFFICE BUILDING.
3. SIGNAGE SHALL BE PROVIDED BETWEEN PARKING AND DRIVEWAY.
4. SIGNAGE ON THE PARKING WALLS AND SIGNS ARE TO BE PROVIDED BY THE ENGINEERING STANDARDS FOR LOCATION AND SIZE.
5. DRIVEWAY EXTENSION BUT DOOR SHALL HAVE NO SIGNAGE.
6. THE 2 FRONT TRENCHES IN BOTH LOBBIES SHALL BE FINISHED BY A PERSON AT RENT AND/OR HAVE AN INDIVIDUAL SITE SYSTEMS SIGNAGE.
7. FRONT TRENCHES AND ELEVATOR LOBBY WALLS SHALL HAVE SOME GLASS/WINDOWS IN THEM.

DRAWING TITLE:  
**PRELIMINARY LEVEL 3 FLOOR PLAN**

JOB NO.: 0712  
 SHEET NO.: DP-4

PROJECT:  
**DOYLE AVENUE 2-HRISES PROJECT - THE MONACO -**  
 250 COMMERCIAL, COMMERCIAL, 4 OFFICE BRANCHES  
 DOYLE AVENUE & ST. PAUL STREET  
 REGINA, S.C.

**points west ARCHITECTURE**  
 203 - 2100 W. REBEY BL.  
 ARLINGTON, VA, DC  
 VA 22202

PHONE: 804-884-8555  
 FAX: 804-884-8555  
 E-MAIL: info@pointswest.com

CONSULTANT:

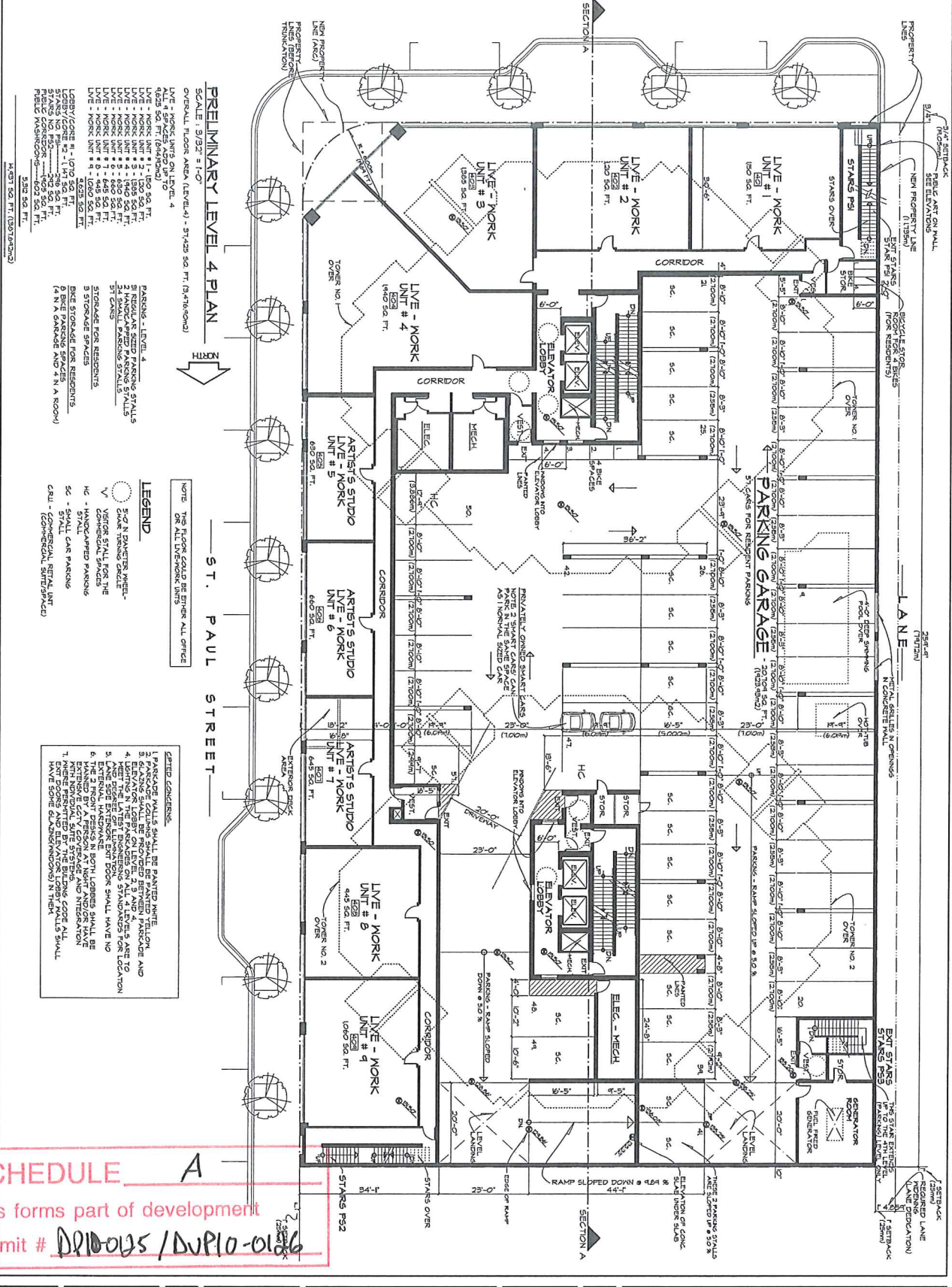
THIS DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF POINTS WEST ARCHITECTURE.

**SCHEDULE**

This forms part of development Permit # **DP10-0185 / DU10-0126**

NOV 21 2008 - REVISED PERMITS TO CONSTRUCTION  
 JAN 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 FEB 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 MAR 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 APR 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 MAY 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 JUN 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 JUL 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 AUG 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 SEP 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 OCT 21 2009 - REVISED PERMITS TO CONSTRUCTION  
 NOV 21 2009 - REVISED PERMITS TO CONSTRUCTION

DOYLE AVENUE



**PRELIMINARY LEVEL 4 PLAN**  
 SCALE: 3/32" = 1'-0"  
 OVERALL FLOOR AREA (LEVEL 4) - 57,425 SQ. FT. (3,476-90M<sup>2</sup>)  
 UNIT # WORK UNITS ON LEVEL 4  
 4,625 SQ. FT. (424-90M<sup>2</sup>)

- PARKING - LEVEL 4
- 3 REGULAR CAR PARKING SPACES
- 3 HANDICAPPED PARKING SPACES
- STORAGE - LEVEL 4
- STORAGE FOR RESIDENTS
- BIKE STORAGE SPACES
- 8 BIKE PARKING SPACES
- 4 N.A. GARAGE AND 4 N.A. ROOM

**LEGEND**  
 3/4" Ø N. BARRIER WHEEL-CHAIR BOARDING (CIRCUIT)  
 5' X 5' FLOOR MAT (SQUARE)  
 HC - HANDICAPPED PARKING  
 SC - SMALL CAR PARKING  
 CRU - COMMERCIAL RETAIL UNIT (COMMERCIAL SERT/SPACE)

- 1. PARKING SPACES SHALL BE PAINTED WHITE.
- 2. PARKING COLUMNS SHALL BE PAINTED YELLOW.
- 3. ELEVATOR LOBBY ON LEVEL 2, 3 AND 4 PARKING AND HANDICAPPED PARKING SPACES SHALL BE PAINTED YELLOW.
- 4. LIGHTS IN THE PARKING SPACES ON ALL LEVELS ARE TO BE TYPICAL RECESSED, FLUSH MOUNTED.
- 5. ONE DIMENSION OF LIGHT FIXTURE SHALL HAVE NO EXTERNAL HARDWARE.
- 6. LIGHT FIXTURE SHALL BE MOUNTED ON THE EXTERIOR WALL OR CEILING AND NOT IN THE EXTERIOR.
- 7. THESE PERMITTED BY THE BUILDING CODE ALL HAVE SOME GLASS/PLASTIC/ACRYLIC.

**SCHEDULE A**  
 This forms part of development  
 Permit # DP10015 / DUP10-0186

|         |      |           |      |
|---------|------|-----------|------|
| JOB NO. | 0712 | SHEET NO. | DP-5 |
|---------|------|-----------|------|

**points west ARCHITECTURE**  
 203 - 250 W. Railway St.  
 Abbotsford, B.C. V2R 2E2

PHONE: 604-864-8155  
 FAX: 604-864-8156  
 E-mail: pw@tw.net

PROJECT: DOYLE AVENUE 2-RISES PROJECT - THE MONDO - 320 COMMERCIAL, COMMERCIAL, DONNE AVENUE & ST. PAUL STREET, GIBSONIA, BC.

DATE: JUN 2018  
 SCALE: 3/32" = 1'-0"  
 DRAWN: [Signature]  
 CHECKED: [Signature]

REVISIONS:

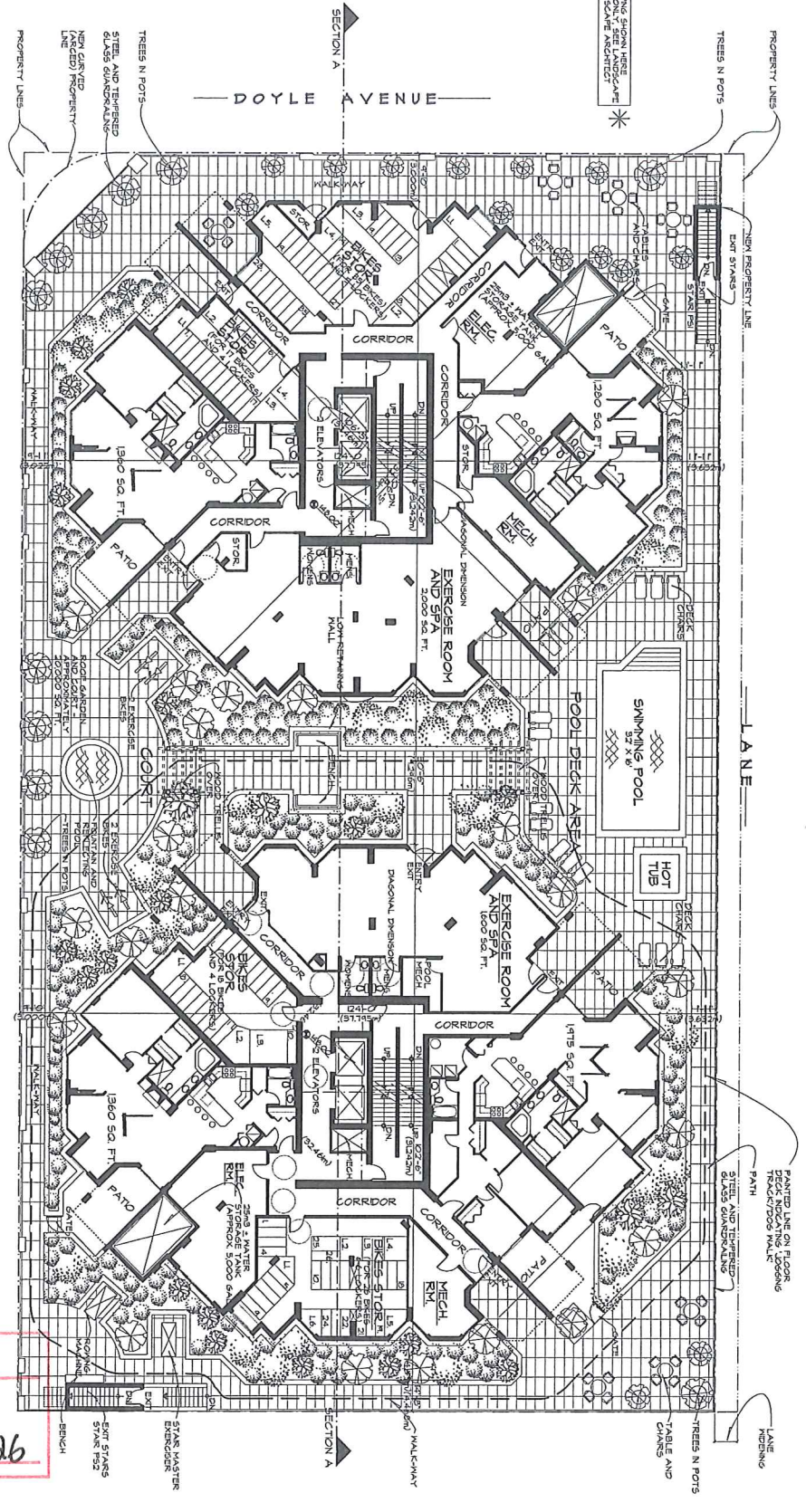
| NO. | DATE     | DESCRIPTION      |
|-----|----------|------------------|
| 1   | 06/20/18 | ISSUE FOR PERMIT |
| 2   | 06/20/18 | ISSUE FOR PERMIT |
| 3   | 06/20/18 | ISSUE FOR PERMIT |
| 4   | 06/20/18 | ISSUE FOR PERMIT |
| 5   | 06/20/18 | ISSUE FOR PERMIT |
| 6   | 06/20/18 | ISSUE FOR PERMIT |
| 7   | 06/20/18 | ISSUE FOR PERMIT |

CONSULTANT:

REVISIONS IN THE ARCHITECTURAL DRAWINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT AND THE BUILDING CODE.



THE LANDSCAPING SHOWN HERE IS FOR INFORMATION ONLY. SEE LANS-02 FOR LANDSCAPE PLAN BY LANDSCAPE ARCHITECT



**TOWER NO. 1** 109 SUITES IN TOWER NO. 1

**LEVEL 5** 2 SUITES ON THIS FLOOR  
SCALE 1/32" = 1'-0"

- SUITE SCHEDULE**
- SUITE L - 1800 SQ. FT. (1 SUITE PER FLOOR)
  - SUITE N - 1200 SQ. FT. (1 SUITE PER FLOOR)
  - CORE AREA - 1695 SQ. FT.
  - STOR. ROOMS, ETC. - 1620 SQ. FT.
  - 6"X11" & SPA - 2200 SQ. FT.
  - MECH. ROOM - 300 SQ. FT.
  - ELEC. ROOM - 460 SQ. FT.
- 2 SUITES ON THIS FLOOR  
2 SUITES PER FLOOR X 1 FLOOR = 2 SUITES  
OCCUPANT LOAD FOR LEVEL 5 - 8 PERSONS

**TOWER NO. 2** 109 SUITES IN TOWER NO. 2

**LEVEL 5** 2 SUITES PER FLOOR  
SCALE 1/32" = 1'-0"

- SUITE SCHEDULE**
- SUITE L - 1800 SQ. FT. (1 SUITE PER FLOOR)
  - SUITE N - 1415 SQ. FT. (1 SUITE PER FLOOR)
  - CORRIDORS - 1740 SQ. FT.
  - 6"X11" & SPA - 1600 SQ. FT.
  - MECH. ROOM - 230 SQ. FT.
  - ELEC. ROOM - 460 SQ. FT.
  - STOR. ROOMS, ETC. - 1400 SQ. FT.
- 2 SUITES ON THIS FLOOR  
2 SUITES PER FLOOR X 1 FLOOR = 2 SUITES  
OCCUPANT LOAD FOR LEVEL 5 - 24 PERSONS

**LEGEND**

- 3/8" DIA. CHAIR ROOSTERS
- 3/8" DIA. CHAIR LEGS

|           |      |
|-----------|------|
| JOB NO.   | 0712 |
| SHEET NO. | DP-6 |

**SCHEDULE A**  
This form part of development  
Permit # DP10-0125 / DU10-026

**PROJECT:**  
DOYLE AVENUE  
2-HOUSE PROJECT  
- THE MONADO -  
350 CONDOMINIUMS, COMMERCIAL  
DOWNE TOWN & ST. PAUL STREET  
GEORGIA, GA.

**points west**  
ARCHITECTURE

203 - 210 W. REBEY BL.  
Abbotsford, B.C.  
V2B 2E2

PHONE: 604-454-4555  
FAX: 604-454-4555  
E-mail: pwa@lisa.net

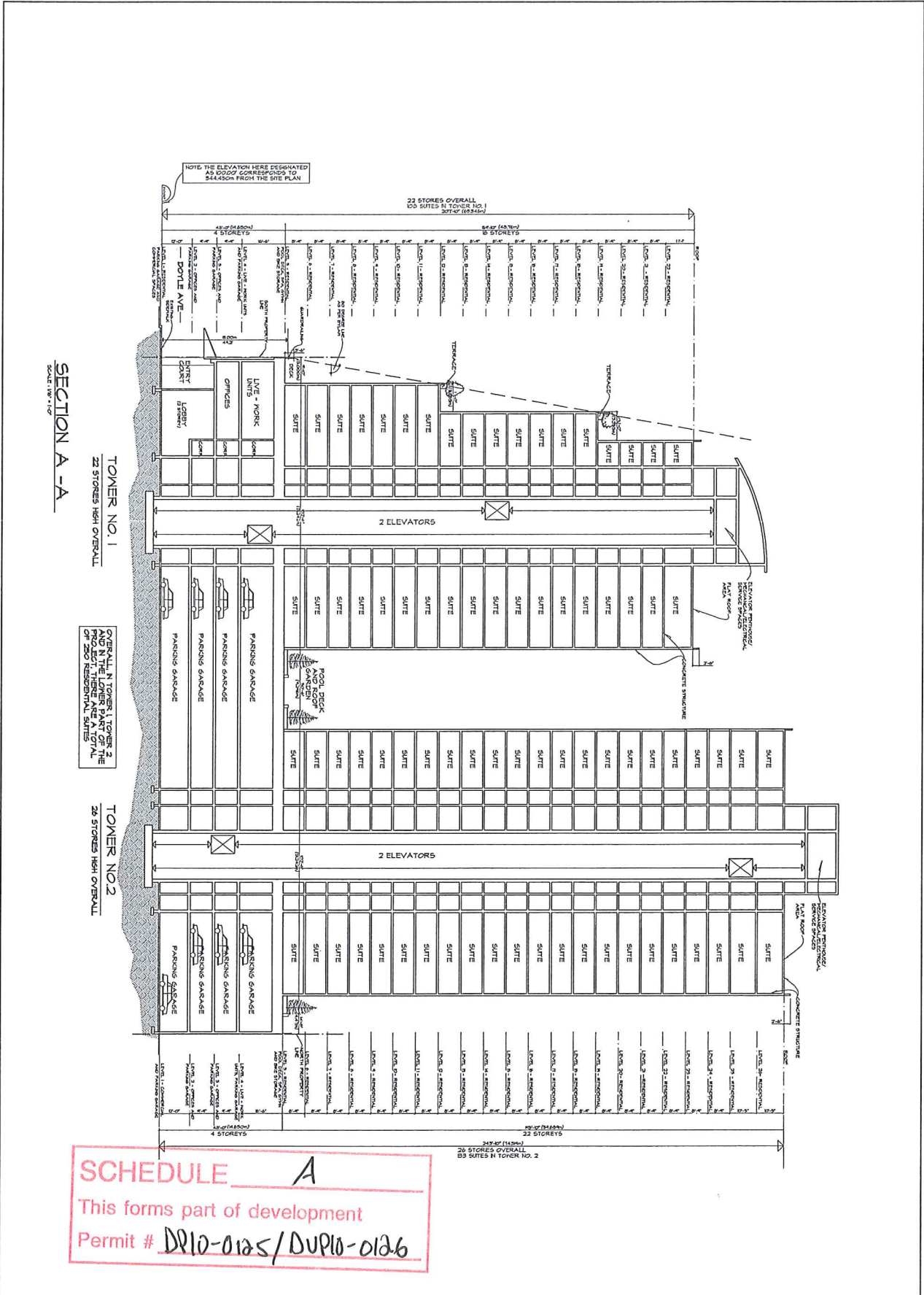
**CONSTRUCTION:**

MEASUREMENTS IN ACCORDANCE WITH THE CANADIAN SYSTEM OF MEASUREMENTS (SI) UNITS.

**REVISIONS:**

|         |         |                             |
|---------|---------|-----------------------------|
| NO. 201 | 1-10-00 | ISSUE FOR PERMIT            |
| NO. 202 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 203 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 204 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 205 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 206 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 207 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 208 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 209 | 1-10-00 | REVISED TO SHOW LANDSCAPING |
| NO. 210 | 1-10-00 | REVISED TO SHOW LANDSCAPING |





JOB NO. 0712  
SHEET NO. DP-12

DRAWING TITLE:  
**SECTION A - A**

DATE: JUN 2008  
SCALE: 1/8" = 1'-0"  
DRAWN BY: [Signature]  
PROJECT:  
**DOYLE AVENUE  
2-HIRES PROJECT  
- THE MONACO -  
250 CONDOMINIUMS, COMMERCIAL  
& OFFICE SPACES  
DOYLE AVENUE & ST. PAUL STREET  
RENOVA, BC**

**points west**  
ARCHITECTURE  
203 - 210 W. Pelly St.  
Abbotsford, B.C.  
V2B 2E2  
PHONE: 604-854-8555  
FAX: 604-854-8506  
E-mail: pwa@tw.net

CONSULTANT:  
[Blank space for consultant name]

REVISIONS:  
NO. 35 2008 - [Description of revision]  
NO. 34 2008 - [Description of revision]  
NO. 33 2008 - [Description of revision]  
NO. 32 2008 - [Description of revision]  
NO. 31 2008 - [Description of revision]  
NO. 30 2008 - [Description of revision]  
NO. 29 2008 - [Description of revision]  
NO. 28 2008 - [Description of revision]  
NO. 27 2008 - [Description of revision]  
NO. 26 2008 - [Description of revision]  
NO. 25 2008 - [Description of revision]  
NO. 24 2008 - [Description of revision]  
NO. 23 2008 - [Description of revision]  
NO. 22 2008 - [Description of revision]  
NO. 21 2008 - [Description of revision]  
NO. 20 2008 - [Description of revision]  
NO. 19 2008 - [Description of revision]  
NO. 18 2008 - [Description of revision]  
NO. 17 2008 - [Description of revision]  
NO. 16 2008 - [Description of revision]  
NO. 15 2008 - [Description of revision]  
NO. 14 2008 - [Description of revision]  
NO. 13 2008 - [Description of revision]  
NO. 12 2008 - [Description of revision]  
NO. 11 2008 - [Description of revision]  
NO. 10 2008 - [Description of revision]  
NO. 9 2008 - [Description of revision]  
NO. 8 2008 - [Description of revision]  
NO. 7 2008 - [Description of revision]  
NO. 6 2008 - [Description of revision]  
NO. 5 2008 - [Description of revision]  
NO. 4 2008 - [Description of revision]  
NO. 3 2008 - [Description of revision]  
NO. 2 2008 - [Description of revision]  
NO. 1 2008 - [Description of revision]

**NOTES:**

1. THIS PROJECT IS SUBJECT TO THE CITY OF WASHINGTON'S DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION DEPARTMENT'S REVIEW. ALL CHANGES MUST BE APPROVED BY THE CITY OF WASHINGTON.
2. FLOOR LEVEL NO. 10 TO 10 WAS CLEAR GLAZING
3. FLOOR LEVEL NO. 11 TO 11 WAS CLEAR GLAZING
4. SEE ELEVATION DRAWING FOR BUILDING COLORS.

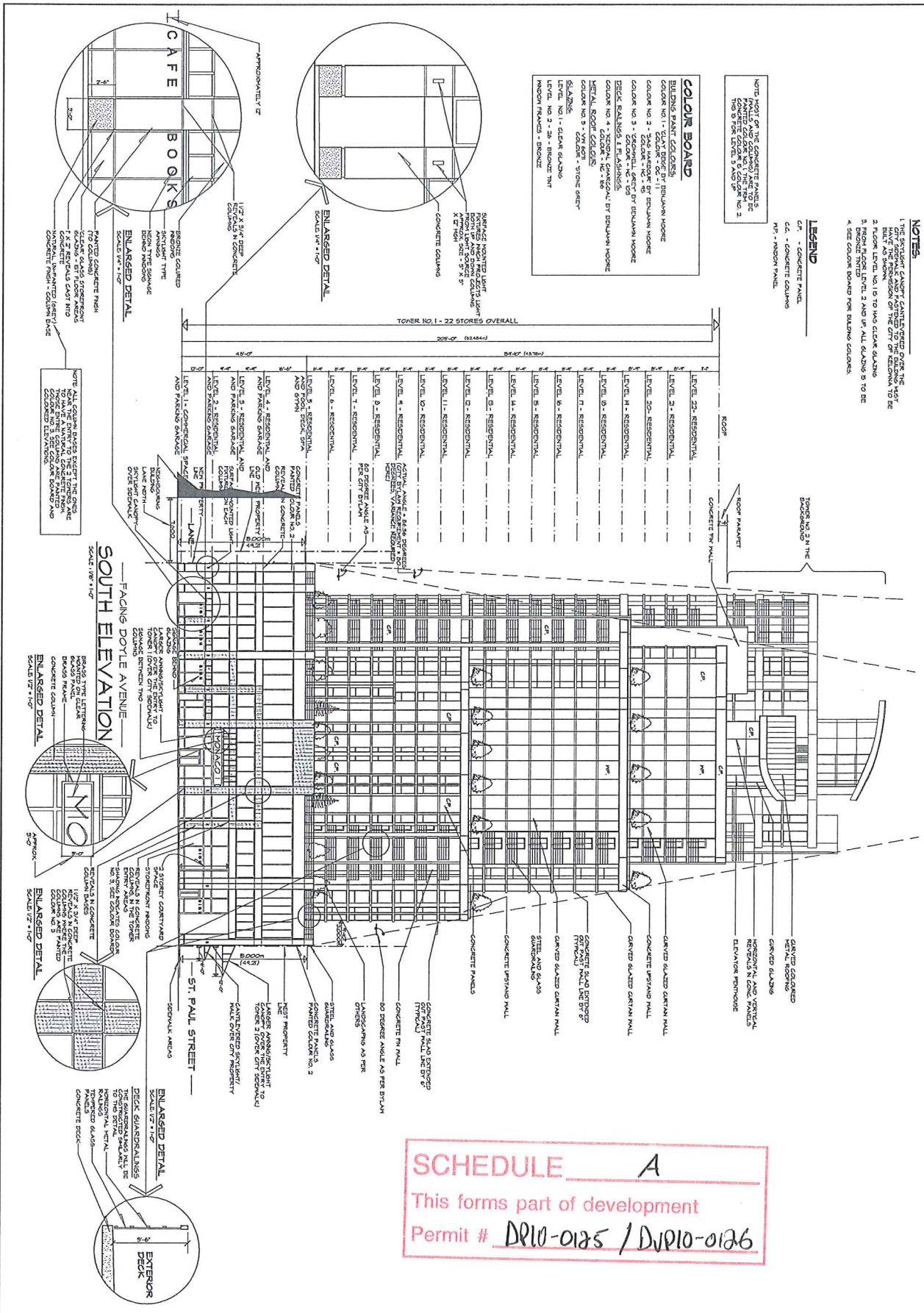
**LEGEND**

CP - CONCRETE PANEL  
 CG - CONCRETE GLAZING  
 PP - INSORF PANEL

**COLOR BOARD**

**BUILDING PAINT COLORS:**  
 COLOR NO. 1 - GUY DORE BY BRULAN HUNNE  
 COLOR NO. 2 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 3 - 2/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 4 - 2/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 5 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 6 - 3/4 SAGE HAZEL BY BRULAN HUNNE

**CONCRETE COLORS:**  
 COLOR NO. 1 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 2 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 3 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 4 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 5 - 3/4 SAGE HAZEL BY BRULAN HUNNE  
 COLOR NO. 6 - 3/4 SAGE HAZEL BY BRULAN HUNNE



**SCHEDULE A**

This forms part of development

Permit # DR10-0185 / DUp10-0126

JOB NO. **0712**

SHEET NO. **DP-13**

**PROJECT**  
 DOYLE AVENUE  
 2-THRISE PROJECT  
 - THE MONACO -  
 285 CONGRESSIONAL, COMMERCIAL  
 & OFFICE BRANCH  
 DOYLE AVENUE & ST. PAUL STREET  
 BELMONT, DC

**DRAWING TITLE**  
 SOUTH ELEVATION

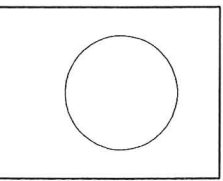
DATE: JUN 2008  
 SCALE: 1/8" = 1'-0"  
 DRAWN: BT

**points west ARCHITECTURE**

203 - 240 W. Wesley St.  
 Arlington, VA 22204  
 703.555.8900  
 703.555.8901  
 703.555.8902  
 703.555.8903  
 703.555.8904  
 703.555.8905  
 703.555.8906  
 703.555.8907  
 703.555.8908  
 703.555.8909  
 703.555.8910

**CONSULTANT**  
 THE ARCHITECTURE CENTER OF THE DISTRICT OF COLUMBIA  
 1000 M ST. N.W.  
 WASHINGTON, D.C. 20004  
 202.691.8700

- NO. 21 2008 - REVISION FOR PERMIT
- NO. 20 2008 - REVISION FOR PERMIT
- NO. 19 2008 - REVISION FOR PERMIT
- NO. 18 2008 - REVISION FOR PERMIT
- NO. 17 2008 - REVISION FOR PERMIT
- NO. 16 2008 - REVISION FOR PERMIT
- NO. 15 2008 - REVISION FOR PERMIT
- NO. 14 2008 - REVISION FOR PERMIT
- NO. 13 2008 - REVISION FOR PERMIT
- NO. 12 2008 - REVISION FOR PERMIT
- NO. 11 2008 - REVISION FOR PERMIT
- NO. 10 2008 - REVISION FOR PERMIT
- NO. 9 2008 - REVISION FOR PERMIT
- NO. 8 2008 - REVISION FOR PERMIT
- NO. 7 2008 - REVISION FOR PERMIT
- NO. 6 2008 - REVISION FOR PERMIT
- NO. 5 2008 - REVISION FOR PERMIT
- NO. 4 2008 - REVISION FOR PERMIT
- NO. 3 2008 - REVISION FOR PERMIT
- NO. 2 2008 - REVISION FOR PERMIT
- NO. 1 2008 - REVISION FOR PERMIT



**COLOR BOARD**

- EXTERIOR PAINT COLORS
- EXTERIOR WALL COLORS
- EXTERIOR ROOF COLORS
- EXTERIOR FLOOR COLORS
- EXTERIOR CEILING COLORS
- EXTERIOR METAL COLORS
- EXTERIOR GLASS COLORS
- EXTERIOR STONE COLORS
- EXTERIOR BRICK COLORS
- EXTERIOR TILE COLORS
- EXTERIOR FINISHES

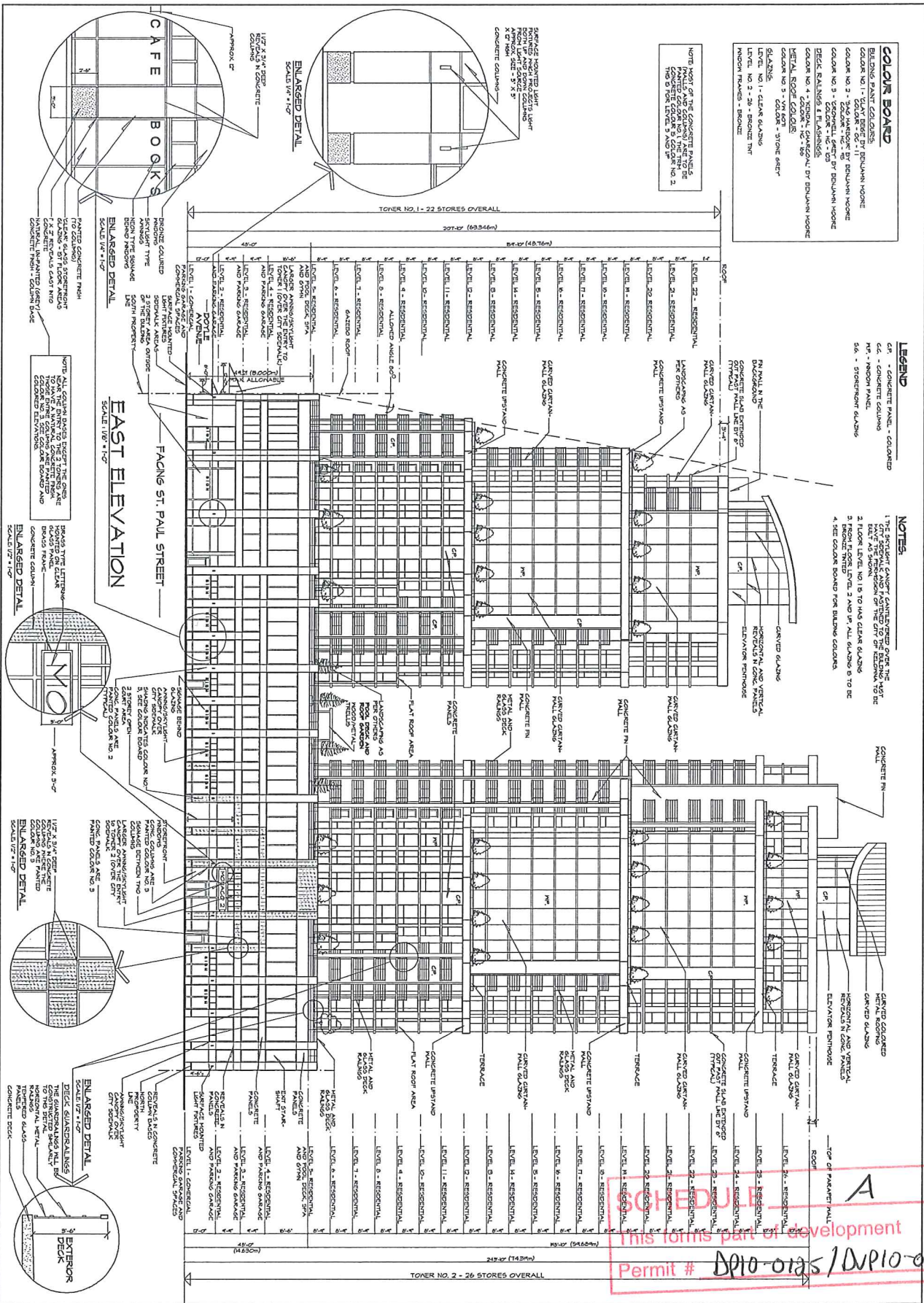
**LEGEND**

- CA - CONCRETE PANEL - COLORED
- GC - CONCRETE GLASSING
- MC - METAL PANEL
- SA - STONEWORK GLASSING

**NOTES**

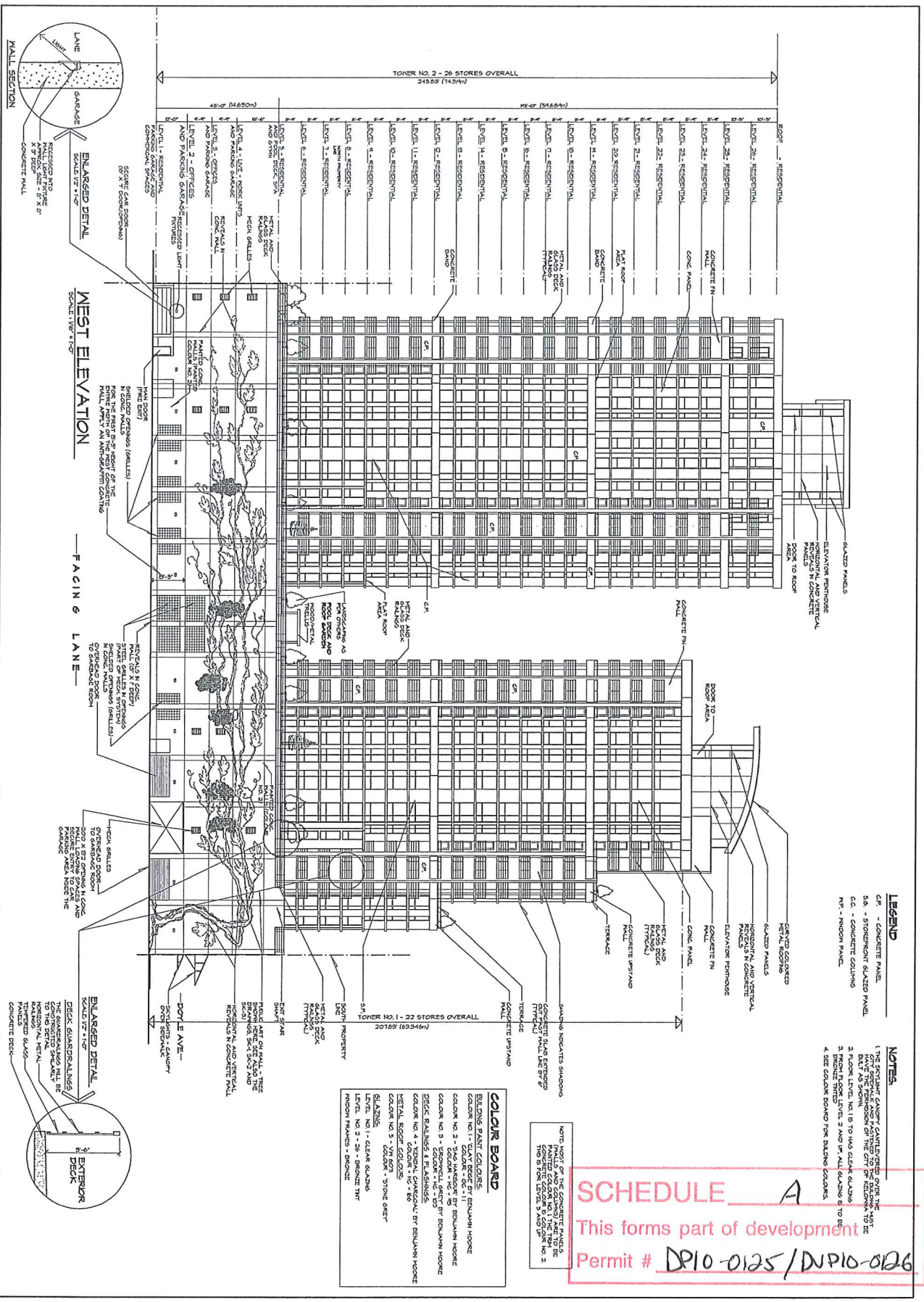
1. THE EXTERIOR COLOR CONTINGENCY BOARD FOR THE CITY OF MONACO IS ATTACHED TO THE DRAWING TO BE USED FOR THE EXTERIOR COLOR BOARD.
2. FLOOR LEVEL NO. 19 IS TO HAVE GLASSING.
3. EXTERIOR WALLS AND ROOF ARE TO BE COLORED AS SHOWN.
4. SEE COLOR BOARD FOR BUILDING COLORS.

NOTE: MOST OF THE CONCRETE PANELS ARE TO BE PAINTED WITH EXTERIOR PAINT. SEE COLOR BOARD FOR PAINT COLOR NO. 2.



SCHEDULE A  
 This forms part of development  
 Permit # DP10-0125 / DP10-0126

|   |   |   |   |  |  |   |
|---|---|---|---|--|--|---|
| <p><b>PROJECT</b><br/>DOYLE AVENUE<br/>2-HRISES PROJECT<br/>- THE MONACO -<br/>289 CONDOMINIUM, COMMERCIAL<br/>&amp; OFFICE BRACHES<br/>DOYLE AVENUE &amp; ST. PAUL STREET<br/>RENOVA, VA</p> | <p><b>DATE:</b> JAN 2008<br/><b>SCALE:</b> 1/8" = 1'-0"<br/><b>DRAWN BY:</b> EI</p> | <p><b>DRAWING TITLE:</b><br/>EAST ELEVATION</p> | <p><b>JOB NO.:</b> 0712<br/><b>SHEET NO.:</b> DP-14</p> | <p><b>points west</b><br/>ARCHITECTURE</p> <p>203 - 200 W. Rte 97, Bl. 1<br/>Arlington, VA 22204<br/>V20 222</p> <p>PHONE: 604-654-8555<br/>FAX: 703-528-1897<br/>E-MAIL: pwest@pointswest.com</p> | <p><b>CONSULTANT:</b></p> <p>THE ARCHITECT OF RECORD FOR THIS PROJECT IS THE ARCHITECT OF RECORD FOR THE MONACO PROJECT WHICH IS THE ARCHITECT OF RECORD FOR THE MONACO PROJECT.</p> | <p><b>REVISIONS:</b></p> <p>NOV 21 2007 - REVISION 001<br/>NOV 21 2007 - REVISION 002<br/>NOV 21 2007 - REVISION 003<br/>NOV 21 2007 - REVISION 004<br/>NOV 21 2007 - REVISION 005<br/>NOV 21 2007 - REVISION 006<br/>NOV 21 2007 - REVISION 007<br/>NOV 21 2007 - REVISION 008<br/>NOV 21 2007 - REVISION 009<br/>NOV 21 2007 - REVISION 010<br/>NOV 21 2007 - REVISION 011<br/>NOV 21 2007 - REVISION 012<br/>NOV 21 2007 - REVISION 013<br/>NOV 21 2007 - REVISION 014<br/>NOV 21 2007 - REVISION 015<br/>NOV 21 2007 - REVISION 016<br/>NOV 21 2007 - REVISION 017<br/>NOV 21 2007 - REVISION 018<br/>NOV 21 2007 - REVISION 019<br/>NOV 21 2007 - REVISION 020<br/>NOV 21 2007 - REVISION 021<br/>NOV 21 2007 - REVISION 022<br/>NOV 21 2007 - REVISION 023<br/>NOV 21 2007 - REVISION 024<br/>NOV 21 2007 - REVISION 025<br/>NOV 21 2007 - REVISION 026<br/>NOV 21 2007 - REVISION 027<br/>NOV 21 2007 - REVISION 028<br/>NOV 21 2007 - REVISION 029<br/>NOV 21 2007 - REVISION 030<br/>NOV 21 2007 - REVISION 031<br/>NOV 21 2007 - REVISION 032<br/>NOV 21 2007 - REVISION 033<br/>NOV 21 2007 - REVISION 034<br/>NOV 21 2007 - REVISION 035<br/>NOV 21 2007 - REVISION 036<br/>NOV 21 2007 - REVISION 037<br/>NOV 21 2007 - REVISION 038<br/>NOV 21 2007 - REVISION 039<br/>NOV 21 2007 - REVISION 040<br/>NOV 21 2007 - REVISION 041<br/>NOV 21 2007 - REVISION 042<br/>NOV 21 2007 - REVISION 043<br/>NOV 21 2007 - REVISION 044<br/>NOV 21 2007 - REVISION 045<br/>NOV 21 2007 - REVISION 046<br/>NOV 21 2007 - REVISION 047<br/>NOV 21 2007 - REVISION 048<br/>NOV 21 2007 - REVISION 049<br/>NOV 21 2007 - REVISION 050<br/>NOV 21 2007 - REVISION 051<br/>NOV 21 2007 - REVISION 052<br/>NOV 21 2007 - REVISION 053<br/>NOV 21 2007 - REVISION 054<br/>NOV 21 2007 - REVISION 055<br/>NOV 21 2007 - REVISION 056<br/>NOV 21 2007 - REVISION 057<br/>NOV 21 2007 - REVISION 058<br/>NOV 21 2007 - REVISION 059<br/>NOV 21 2007 - REVISION 060<br/>NOV 21 2007 - REVISION 061<br/>NOV 21 2007 - REVISION 062<br/>NOV 21 2007 - REVISION 063<br/>NOV 21 2007 - REVISION 064<br/>NOV 21 2007 - REVISION 065<br/>NOV 21 2007 - REVISION 066<br/>NOV 21 2007 - REVISION 067<br/>NOV 21 2007 - REVISION 068<br/>NOV 21 2007 - REVISION 069<br/>NOV 21 2007 - REVISION 070<br/>NOV 21 2007 - REVISION 071<br/>NOV 21 2007 - REVISION 072<br/>NOV 21 2007 - REVISION 073<br/>NOV 21 2007 - REVISION 074<br/>NOV 21 2007 - REVISION 075<br/>NOV 21 2007 - REVISION 076<br/>NOV 21 2007 - REVISION 077<br/>NOV 21 2007 - REVISION 078<br/>NOV 21 2007 - REVISION 079<br/>NOV 21 2007 - REVISION 080<br/>NOV 21 2007 - REVISION 081<br/>NOV 21 2007 - REVISION 082<br/>NOV 21 2007 - REVISION 083<br/>NOV 21 2007 - REVISION 084<br/>NOV 21 2007 - REVISION 085<br/>NOV 21 2007 - REVISION 086<br/>NOV 21 2007 - REVISION 087<br/>NOV 21 2007 - REVISION 088<br/>NOV 21 2007 - REVISION 089<br/>NOV 21 2007 - REVISION 090<br/>NOV 21 2007 - REVISION 091<br/>NOV 21 2007 - REVISION 092<br/>NOV 21 2007 - REVISION 093<br/>NOV 21 2007 - REVISION 094<br/>NOV 21 2007 - REVISION 095<br/>NOV 21 2007 - REVISION 096<br/>NOV 21 2007 - REVISION 097<br/>NOV 21 2007 - REVISION 098<br/>NOV 21 2007 - REVISION 099<br/>NOV 21 2007 - REVISION 100</p> |
|---|---|---|---|--|--|---|



**LEGEND**

- CP - CONCRETE PANEL
- SC - STONE/CLAY BLAZED PANEL
- CC - CONCRETE COLUMN
- WP - WINDOW PANEL

**NOTES**

1. THIS DRAWING IS A PART OF THE DEVELOPMENT PERMIT FOR THE WEST BAY AT SHERRILL, A PART OF THE CITY OF KEDDIE, TO BE BUILT AT SHERRILL.
2. FLOOR LEVEL NO. 1 IS TO HAVE CLEAN GLASS.
3. FLOOR LEVELS NO. 2 AND UP, ALL GLASS IS TO BE 4.5% TINTED.
4. SEE COLOR BOARD FOR BUILDING COLORS.

**SCHEDULE A**  
 This forms part of development  
 Permit # **DP10-0125/DP10-0126**

**COLOR BOARD**

BUILDING PAINT COLORS:

- COLOUR NO. 1 - TUFF BEIGE BY BULLHORN HORSIE
- COLOUR NO. 2 - SAND WASHES BY BULLHORN HORSIE
- COLOUR NO. 3 - VOGUE "H" "107"
- COLOUR NO. 4 - COLOUR "H" "88"
- COLOUR NO. 5 - VEGAN "7" STONE GREY

METAL ROOF COLOR:

- LEVEL NO. 1 - CLEAN GLASS
- LEVEL NO. 2 - 2% TINTED TYPICAL
- LEVEL NO. 3 - 2% TINTED TYPICAL
- LEVEL NO. 4 - 2% TINTED TYPICAL
- LEVEL NO. 5 - 2% TINTED TYPICAL
- LEVEL NO. 6 - 2% TINTED TYPICAL
- LEVEL NO. 7 - 2% TINTED TYPICAL
- LEVEL NO. 8 - 2% TINTED TYPICAL
- LEVEL NO. 9 - 2% TINTED TYPICAL
- LEVEL NO. 10 - 2% TINTED TYPICAL
- LEVEL NO. 11 - 2% TINTED TYPICAL
- LEVEL NO. 12 - 2% TINTED TYPICAL
- LEVEL NO. 13 - 2% TINTED TYPICAL
- LEVEL NO. 14 - 2% TINTED TYPICAL
- LEVEL NO. 15 - 2% TINTED TYPICAL
- LEVEL NO. 16 - 2% TINTED TYPICAL
- LEVEL NO. 17 - 2% TINTED TYPICAL
- LEVEL NO. 18 - 2% TINTED TYPICAL
- LEVEL NO. 19 - 2% TINTED TYPICAL
- LEVEL NO. 20 - 2% TINTED TYPICAL
- LEVEL NO. 21 - 2% TINTED TYPICAL
- LEVEL NO. 22 - 2% TINTED TYPICAL
- LEVEL NO. 23 - 2% TINTED TYPICAL
- LEVEL NO. 24 - 2% TINTED TYPICAL

NOTE: MOST OF THE CONCRETE PANELS ARE TO BE PAINTED COLOUR NO. 1. THE METAL ROOF IS TO BE PAINTED COLOUR NO. 5 FOR LEVEL 5 AND UP.

**PROJECT:**  
 DOYLE AVENUE  
 2-H-RISES PROJECT  
 - THE MONACO -  
 230 CONDOMINIUMS, COMMERCIAL  
 & OFFICE SPACES  
 DOYLE AVENUE & ST. PAUL STREET  
 REDONVA, B.C.

**DRAWING TITLE:**  
 WEST ELEVATION

**DATE:** JUN 2008  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** SI

**JOB NO.:** 0712  
**SHEET NO.:** DP-15

**points west**  
 ARCHITECTURE

203 - 210 W. Railway BL  
 Abbotsford, B.C.  
 V2R 2E2

PHONE: 604-494-6555  
 FAX: 604-494-6505  
 E-mail: pw@twknet.net

**CONSULTANT:**

WE WOULD LIKE TO ACKNOWLEDGE THE ASSISTANCE OF THE FOLLOWING CONSULTANTS:

NOV. 25, 2007 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

DEC. 15, 2007 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

JAN. 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

FEB. 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

MAR. 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

APR. 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

MAY 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

JUN 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

JUL 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

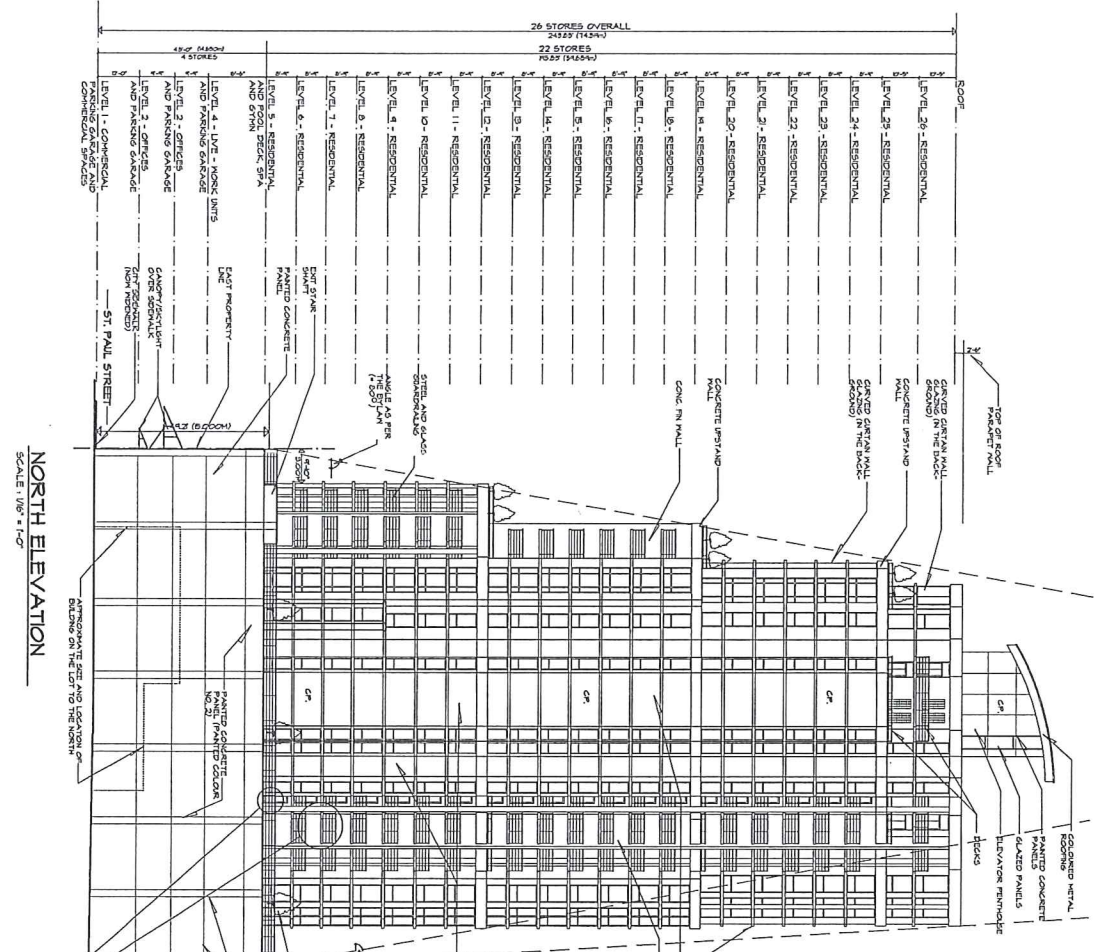
AUG 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

SEP 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

OCT 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

NOV 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR

DEC 15, 2008 - INTER AND ASSOC INC. - CIVIL ENGINEER AND SURVEYOR



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

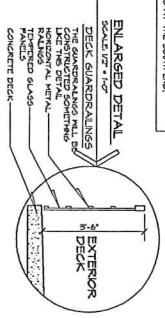
- NOTES:**
1. THE ADJACENT CANYON CONTIGUOUS OVER THE CITY OF AUSTIN AND IS REFERRED TO AS THE "CANYON". THE BUILDING SHALL BE SET AS SHOWN. STAIRS SHALL BE 5' 6" WIDE.
  2. FLOOR LEVEL NO. 1 IS TO HAVE GLEAM GLAZING.
  3. BRONZE STAINLESS STEEL HANDRAILS AND FINISHES SHALL BE USED AT LEVELS 2 AND 3.
  4. SEE COLOR BOARD FOR BUILDING COLORS.
- LEGEND**
- CM - CONCRETE PANEL/MATERIAL
  - 5.6 - STONEFRONT GLAZED PANEL
  - CC - CONCRETE COLLARS
  - M/P - MASON PANEL

**SCHEDULE A**

This forms part of development Permit # DP10-0125 / DP10-0126

**COLOR BOARD**

|                            |                  |
|----------------------------|------------------|
| BUILDING PAINT COLOR BOARD | CONCRETE MASONRY |
| COLOR NO. 1 - GLAZING      | CONCRETE MASONRY |
| COLOR NO. 2 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 3 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 4 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 5 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 6 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 7 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 8 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 9 - BRICK        | CONCRETE MASONRY |
| COLOR NO. 10 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 11 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 12 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 13 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 14 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 15 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 16 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 17 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 18 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 19 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 20 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 21 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 22 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 23 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 24 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 25 - BRICK       | CONCRETE MASONRY |
| COLOR NO. 26 - BRICK       | CONCRETE MASONRY |



|  |   |  |   |   |
|--|---|--|---|---|
| <p><b>PROJECT</b><br/>DOYLE AVENUE<br/>2 HI-RISES PROJECT<br/>- THE MONACO -<br/>320 COMPANION SQUARE COMMERCIAL &amp; OFFICE BRANCHES<br/>DOYLE AVENUE &amp; ST. PAUL STREET<br/>ROCKWALL, TX</p> | <p><b>points west</b><br/>ARCHITECTURE</p> <p>203 - 210 W. Rebay BL.<br/>Abbotsford, B.C.<br/>V2S 2Z2</p> <p>PHONE: 604-694-8555<br/>FAX: 604-694-8508<br/>E-mail: pwa@twak.net</p> | <p><b>CONSULTANT</b></p> <p>REVISIONS:</p> <p>NOV 21 2008 - REVISED NO. 2008 ELEVATION<br/>JUN 21 2008 - REVISION AND SEND TO PERMITS DEPARTMENT<br/>MAY 14 2008 - REVISION AND SEND TO PERMITS DEPARTMENT<br/>APR 14 2008 - REVISION AND SEND TO PERMITS DEPARTMENT<br/>MAY 14 2008 - REVISION AND SEND TO PERMITS DEPARTMENT<br/>MAY 14 2008 - REVISION AND SEND TO PERMITS DEPARTMENT<br/>MAY 14 2008 - REVISION AND SEND TO PERMITS DEPARTMENT</p> | <p>DATE: SEP 2008<br/>SCALE: 1/8" = 1'-0"</p> <p>DRAWN BY: [Name]<br/>CHECKED BY: [Name]</p> <p>DRAWING TITLE:<br/><b>NORTH ELEVATION</b></p> | <p>JOB NO.: 0712<br/>SHEET NO.: DP-16</p> |
|--|---|--|---|---|



SCHEDULE B  
This forms part of development  
Permit # DP10-0125 / DU10-0126

THE **MONACO**  
Doyle Avenue and St. Paul Street Kelowna B.C.

points west  
ARCHITECTURE

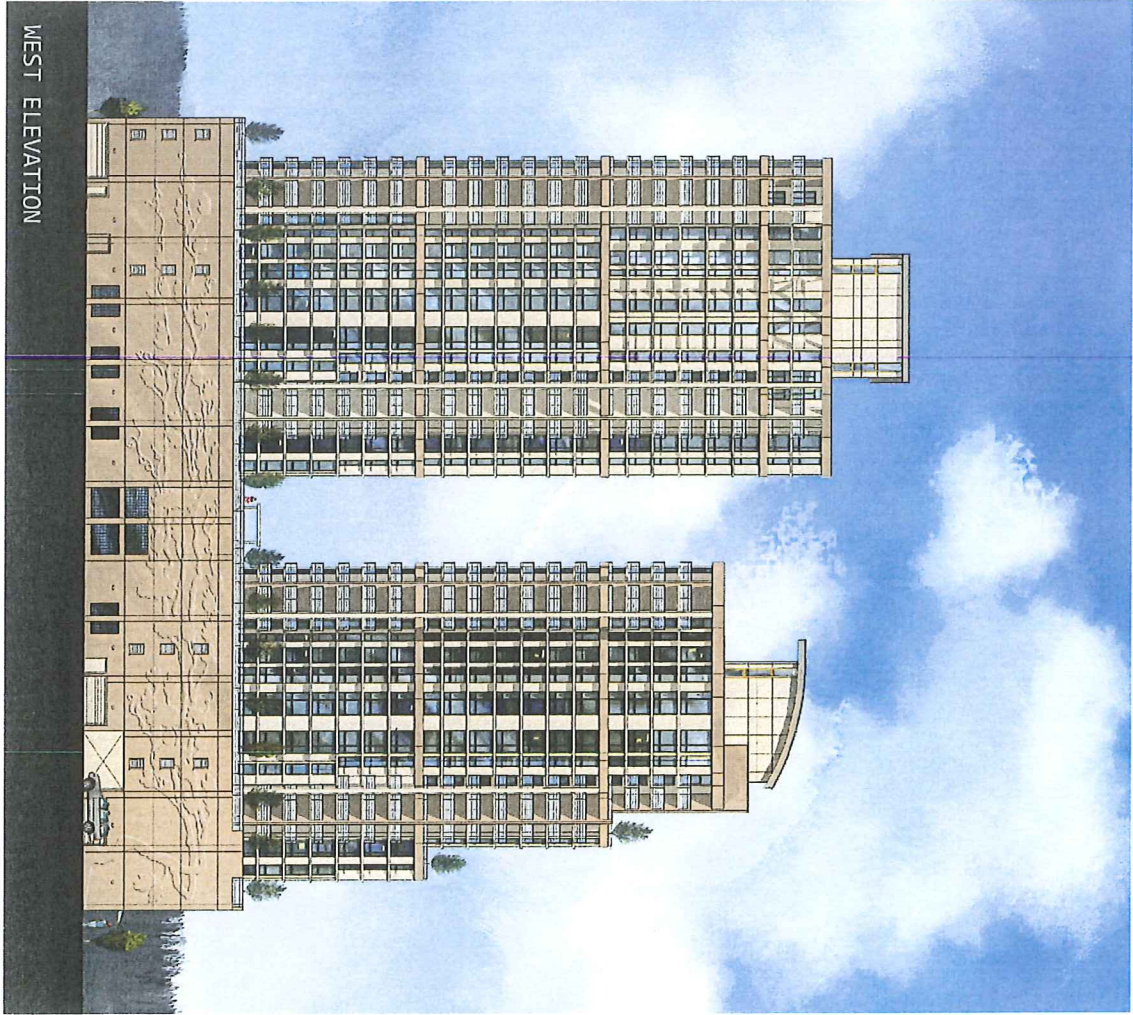




SCHEDULE B  
This forms part of development  
Permit # DP10-0125 / DP10-0126

THE **MONDACO**  
Doyle Avenue and St. Paul Street Kelowna B.C.

points west  
ARCHITECTURE



SCHEDULE B  
 This forms part of development  
 Permit # DP10-0125 / DJP10-006

0712

WEST ELEVATION

DOYLE AVENUE  
 24-RISES PROJECT  
 - THE MONACO -  
 200 CONDORVILLE DIVISION  
 & OFFICE SPACES

**points west**  
 ARCHITECTURE

303 - 9130 W. Railway St  
 Aurora, CO, U.S.A.  
 V25 212

PH: 303-684-8555  
 FAX: 303-684-8526  
 E-MAIL: PW@POINTSWEST.COM



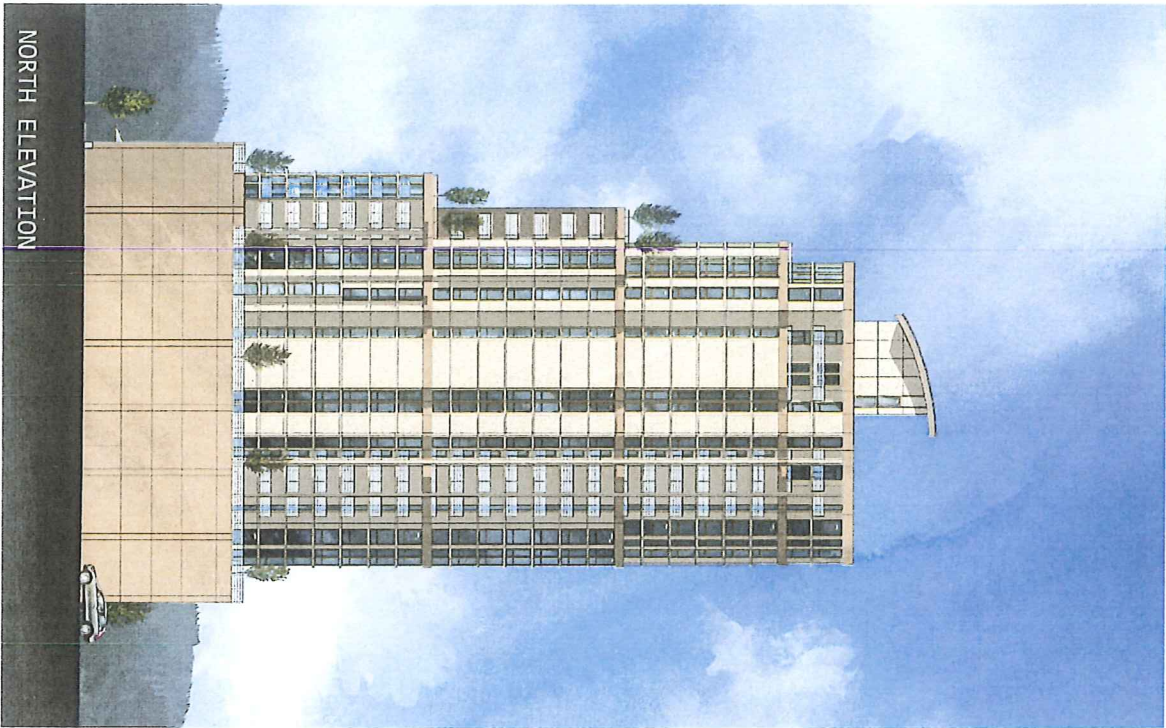
EAST ELEVATION

SCHEDULE B  
 This forms part of development  
 Permit # DPL0-0125 / DPL0-0126

  
**points west**  
 ARCHITECTURE  
 203 - 1130 W. Railway St. PO BOX 604 554-8555  
 Astoria, OR FAX 503-326-8509  
 VCS 209 E-mail dwg@pwest.com

DOYLE AVENUE  
 2-HIRES PROJECT  
 - THE MONACO -  
 270 OCEAN BLVD. ASTORIA, OR  
 5 OFFICE SUITES

EAST ELEVATION



NORTH ELEVATION

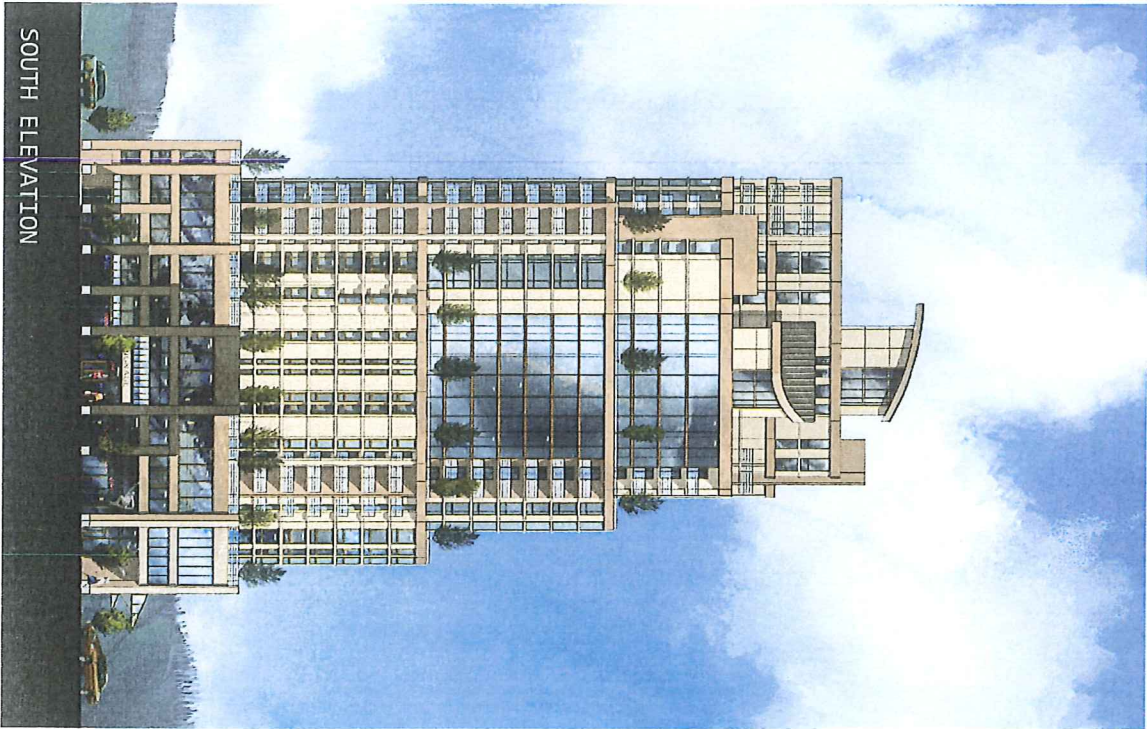
SCHEDULE B  
 This forms part of development  
 Permit # DPI0-065 / DJPI0-0126

DOYLE AVENUE  
 2-HURSES PROJECT  
 THE MONACO -  
 250 COOPER STREET  
 & OFFICE SUITE 200



203 - 2112 W. Parkway St  
 Vancouver B.C.  
 V2B 2T2  
 PHONE 604-564-5555  
 FAX 604-566-8559  
 EMAIL info@pw.net

NORTH ELEVATION



SOUTH ELEVATION

SCHEDULE B  
 This forms part of development  
 Permit # DP10-0125 / DP10-0126



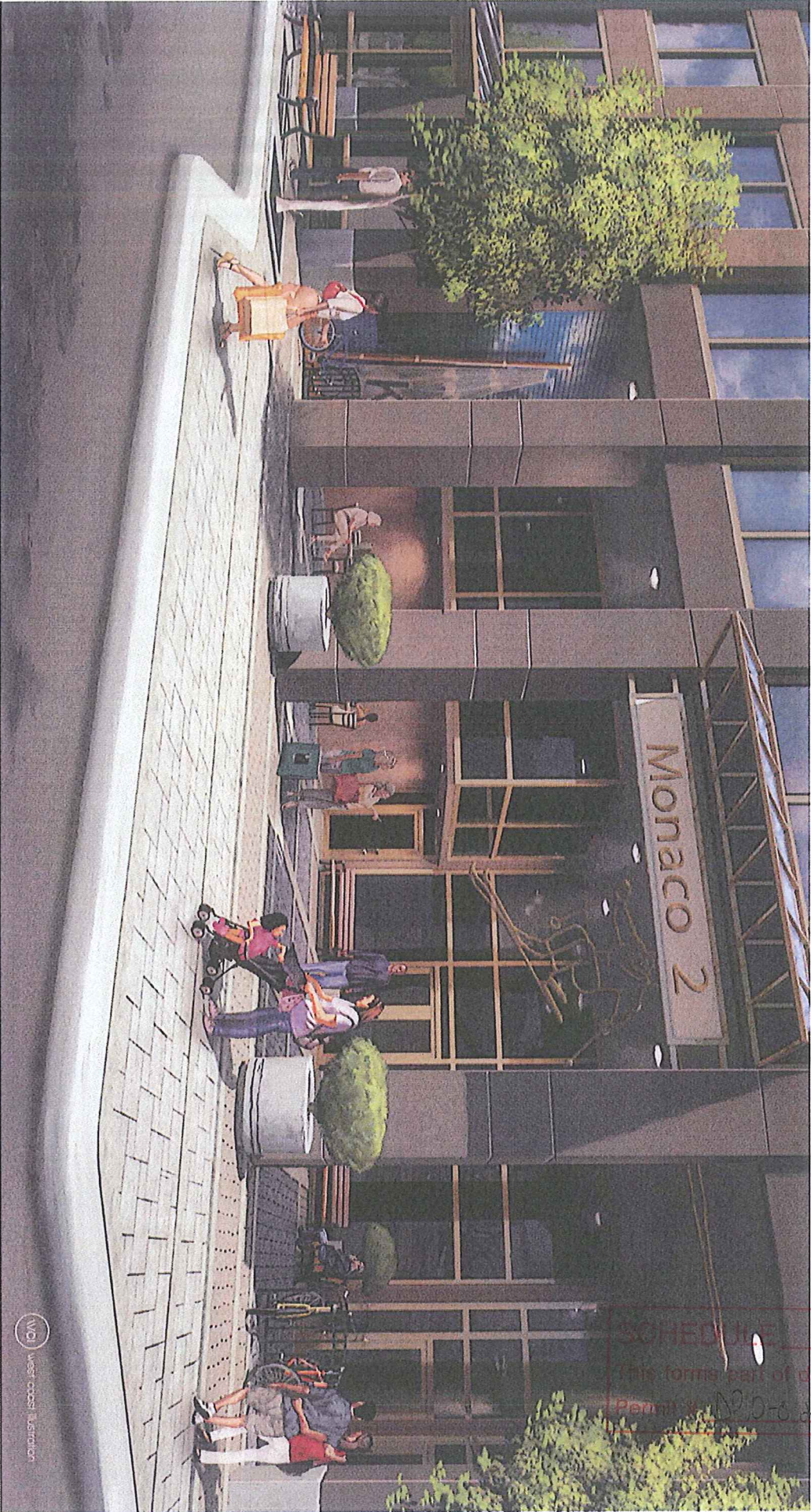
Monaco – Art Gallery Gifted to Non-Profit Arts Community or UBCO Fine Arts Faculty



Monaco – Tapas Bar featuring Okanagan Wine

GENERAL NOTE: Enlivened Streetscape with Transparent Commercial Exposure and Inviting Interiors

SCHEDULE 13  
 This forms part of development  
 Permit # DP10-0125 / DP10-0126



WCI West Coast Illustration

SCHEDULE B  
This forms part of development  
Permit No. DP10-0126 / DP10-0126

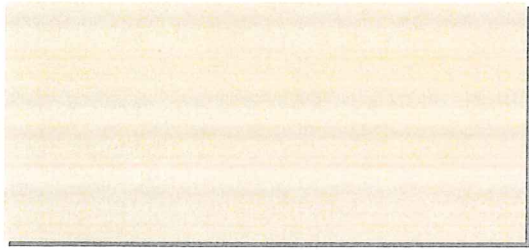


WVU WEST COAST RESEARCH CENTER

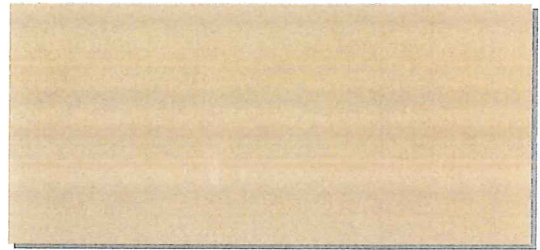
CONFIDENTIAL  
This is a preliminary part of development  
DPLD-0125/DVPI0-0126

B





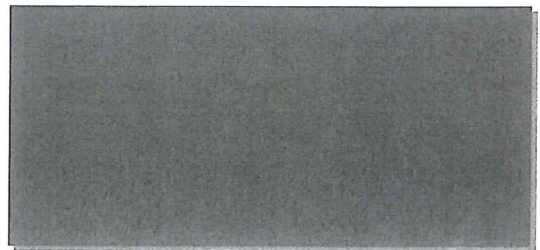
Colour No. 1  
'Clay Beige' by Benjamin Moore  
Colour - OC-11



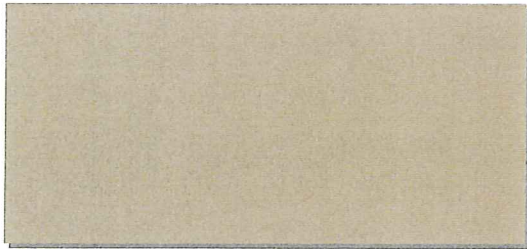
Colour No. 2  
'Sag Harbour Gray' by Benjamin Moore  
Colour - HC-95



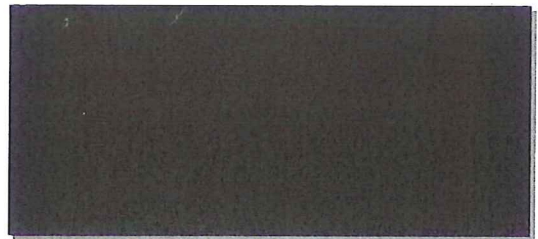
Colour No. 3  
'Cromwell Gray' by Benjamin Moore  
Colour - HC-103



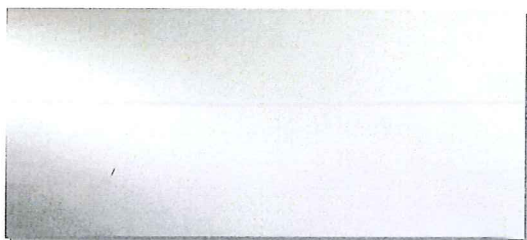
Colour No. 4  
Deck Railings & Flashing  
'Kendall Charcoal' by Benjamin Moore  
Colour - HC-166



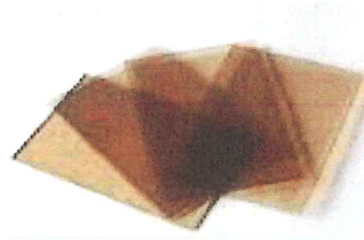
Colour No. 5  
Metal Roof by VicWest  
Colour - Stone Grey



Colour No. 6  
Aluminum Window Frames  
Colour - Anodized Dark Bronze

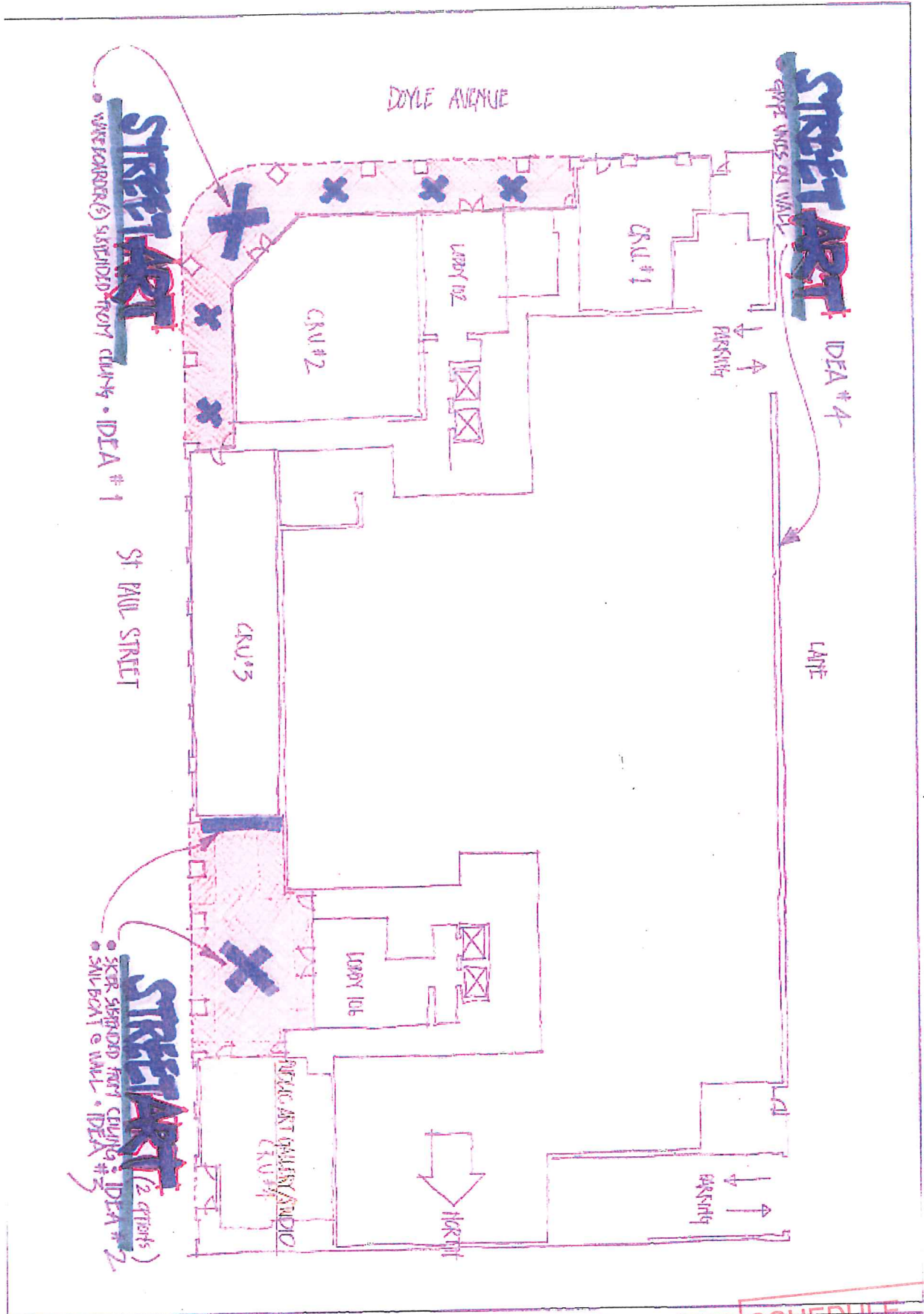


First Floor Glass Windows  
Colour - Clear Glass  
(Not Exactly as Shown)



Glass Windows  
Colour - Bronze Tint  
(Not Exactly as Shown)

**SCHEDULE B**  
This forms part of development  
Permit # DP10-025 / DJR10-026



**STREET ART**  
 • WIRE ROPE & SIGNED FROM CEILING • IDEA #1

**STREET ART**  
 • IDEA #4  
 • WIRE WINDS ON WALL

**STREET ART**  
 • SKR SIGNED FROM CEILING • IDEA #2  
 • SAIL BOAT & WALL • IDEA #3

0712  
 SK-1

LEVEL ONE  
 PUBLIC ART

DOYLE AVENUE  
 2 PHASE PROJECT

**points west**  
 ARCHITECTURE

100 W. 10th St. Suite 100  
 Seattle, WA 98101  
 Tel: 206.461.1000  
 Fax: 206.461.1001  
 Email: info@pointswest.com

DATE: 07/12/12  
 DRAWN BY: [Signature]

DATE: 07/12/12  
 CHECKED BY: [Signature]

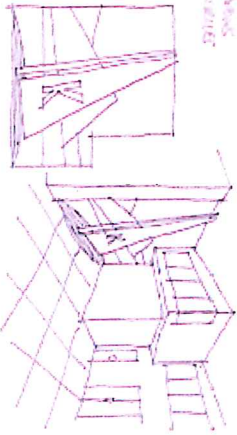
**SCHEDULE B**  
 This forms part of development  
 Permit # DP10-025 / DU10-026



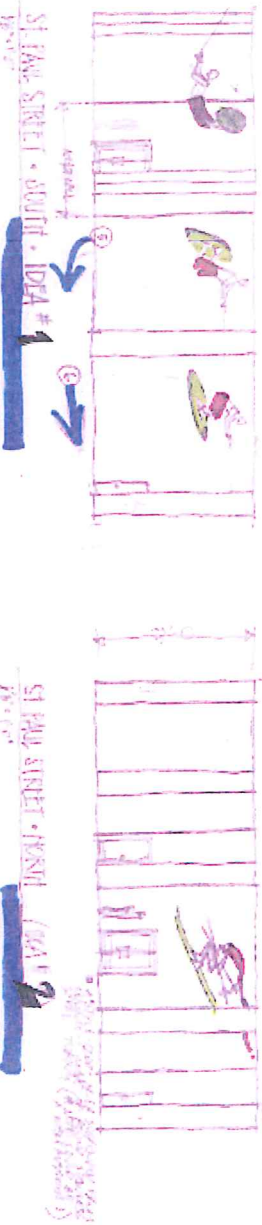
147 E. BOULDER AT VINE - **IDEA # 4**  
 2nd Floor

- create deep, wide, open spaces, allowing residents to see through
- use wood in walls, floors, doors, stairs, etc.
- use large windows, doors, etc. to create openings
- use large, light-colored, natural materials, such as stone, concrete, etc.
- use large, light-colored, natural materials, such as stone, concrete, etc.
- use large, light-colored, natural materials, such as stone, concrete, etc.

- use of wood in walls, floors, doors, stairs, etc.
- use large windows, doors, etc. to create openings
- use large, light-colored, natural materials, such as stone, concrete, etc.
- use large, light-colored, natural materials, such as stone, concrete, etc.
- use large, light-colored, natural materials, such as stone, concrete, etc.



**IDEA # 5**



147 E. BOULDER AT VINE - **IDEA # 1**  
 2nd Floor

147 E. BOULDER AT VINE - **IDEA # 2**  
 2nd Floor

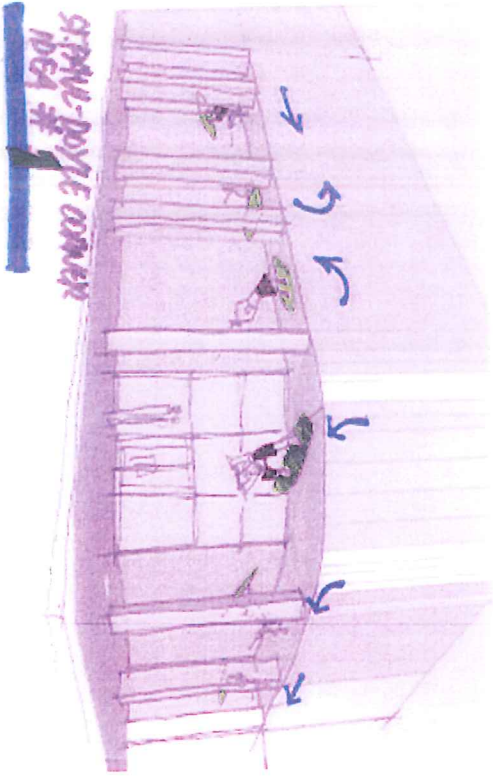
**SCHEDULE B**  
 This forms part of development  
 Permit # DR10-0125/DNDW-0126

**points west ARCHITECTURE**  
 22 - 270 W. Polk Street  
 Minneapolis, MN 55402  
 TEL: 612.338.8888  
 FAX: 612.338.8888  
 WWW.POINTSWESTARCH.COM

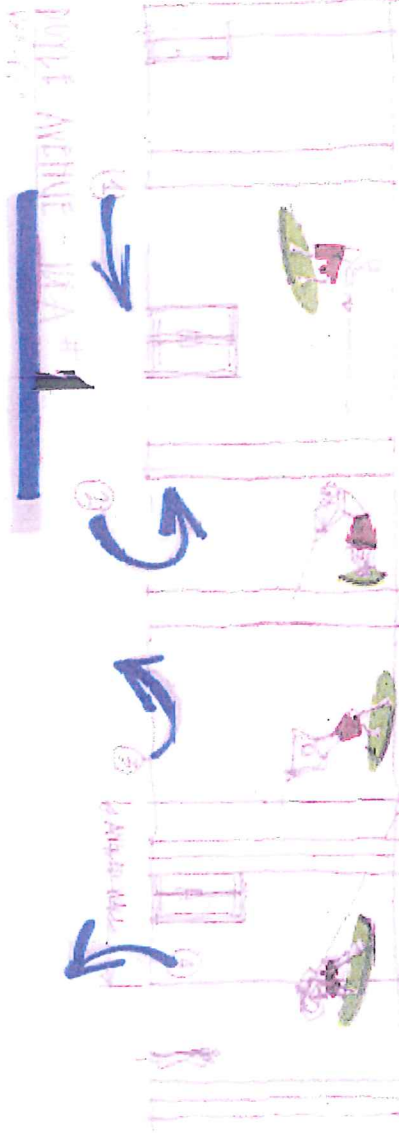
PROJECT: DOYLE AVENUE 2 HI-RISE PROJECT  
 LOCATION: 147 E. BOULDER AT VINE  
 DATE: 10/2012

ARTISTIC RENDERINGS PUBLIC ART

0712 SK-2

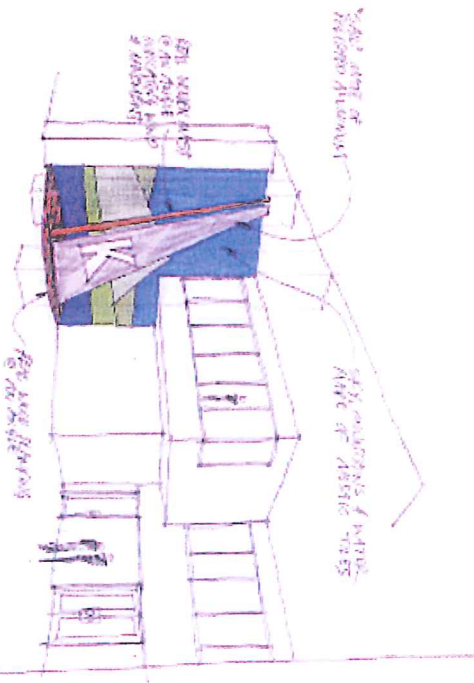


91 PHUL - DOYLE CORNER  
IDEA #1



91 PHUL AVENUE - IDEA #2

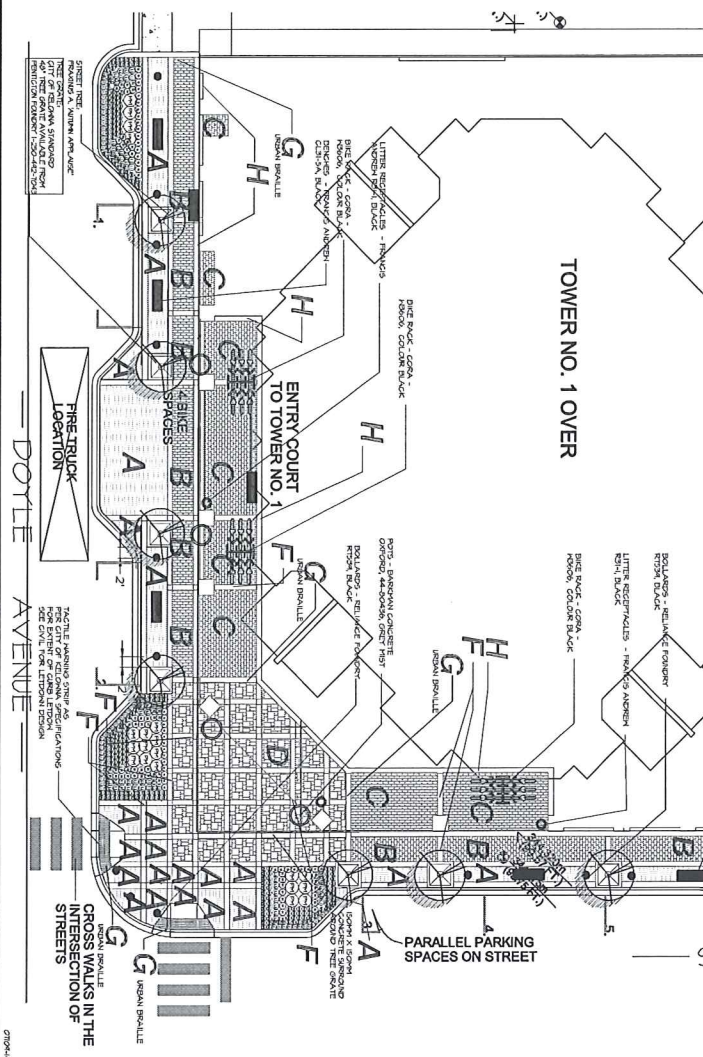
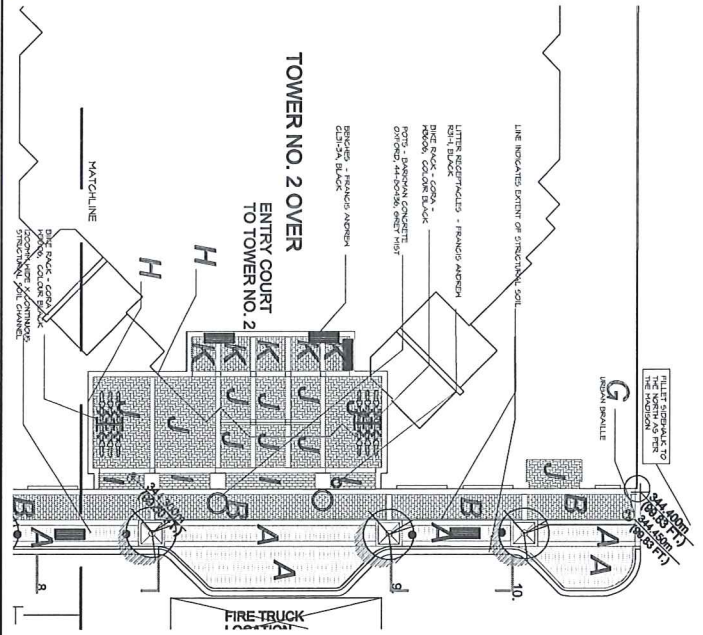
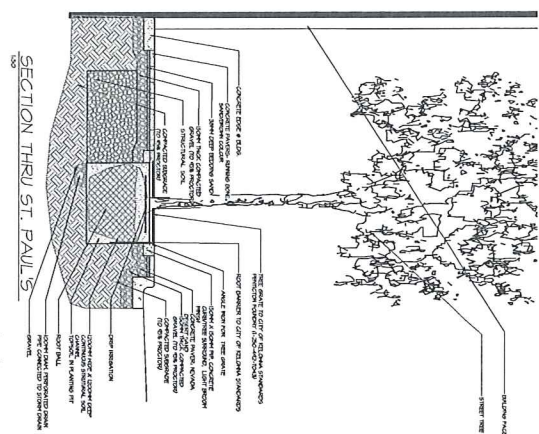
A 1920's style, neoclassical building with a central tower and a portico. The building is a 2-story structure with a central tower and a portico. The building is a 2-story structure with a central tower and a portico. The building is a 2-story structure with a central tower and a portico.



ST. PHUL NORTH - IDEA #3

|              |                                      |  |   |   |                       |                     |  |
|--------------|--------------------------------------|--|---|---|-----------------------|---------------------|--|
| 0712<br>SK-3 | ARTISTIC<br>RENDERINGS<br>PUBLIC ART | PROJECT<br>DOYLE AVENUE<br>2 HOUSE PROJECT<br>ARCHITECTURE |  <p>points west<br/>ARCHITECTURE</p> | CONTACT<br>1234 5th St<br>Washington, DC<br>20001 | PHONE<br>202-555-1234 | FAX<br>202-555-5678 | <p><b>SCHEDULE B</b></p> <p>This forms part of development<br/>Permit # <u>DP10-015/DUP10-012e</u></p> |
|--------------|--------------------------------------|--|---|---|-----------------------|---------------------|--|

| SYMBOL | MATERIAL                                      | DESCRIPTION |
|--------|---|-------------|
| A      | BRICK STANDARD & HALF STANDARD COLOR MATERIAL |             |
| B      | STANDARD - SHINING SAND PATTERN               |             |
| C      | STANDARD - SHINING SAND PATTERN               |             |
| D      | OLD COUNTRY STONE - MASONRY PATTERN           |             |
| E      | STANDARD - HERBINSOONE PATTERN                |             |
| F      | HERBINA - SOLIDER COARSE PATTERN              |             |
| G      | HALF STANDARD - SOLIDER COARSE PATTERN        |             |
| H      | 1/2" HOLE CONCRETE SAND AT BUILDING EDGE      |             |
| I      | STANDARD - SHINING SAND PATTERN               |             |
| J      | STANDARD - HERBINSOONE PATTERN                |             |
| K      | STANDARD PAVES - SHINING SAND PATTERN         |             |



| PLANT SCHEDULE |                            |                     |
|----------------|----------------------------|---------------------|
| SYM            | DESCRIPTION                | COMMON NAME         |
| 1              | FROND HERBINA WITH APPLANE | ADONIS APPLANE      |
| 2              | FROND HALF TRILLIUM        | FROND HALF TRILLIUM |
| 3              | FROND HERBINA              | FROND HERBINA       |
| 4              | FROND HERBINA              | FROND HERBINA       |
| 5              | FROND HERBINA              | FROND HERBINA       |
| 6              | FROND HERBINA              | FROND HERBINA       |
| 7              | FROND HERBINA              | FROND HERBINA       |
| 8              | FROND HERBINA              | FROND HERBINA       |
| 9              | FROND HERBINA              | FROND HERBINA       |
| 10             | FROND HERBINA              | FROND HERBINA       |
| 11             | FROND HERBINA              | FROND HERBINA       |
| 12             | FROND HERBINA              | FROND HERBINA       |
| 13             | FROND HERBINA              | FROND HERBINA       |
| 14             | FROND HERBINA              | FROND HERBINA       |
| 15             | FROND HERBINA              | FROND HERBINA       |
| 16             | FROND HERBINA              | FROND HERBINA       |
| 17             | FROND HERBINA              | FROND HERBINA       |
| 18             | FROND HERBINA              | FROND HERBINA       |
| 19             | FROND HERBINA              | FROND HERBINA       |
| 20             | FROND HERBINA              | FROND HERBINA       |
| 21             | FROND HERBINA              | FROND HERBINA       |
| 22             | FROND HERBINA              | FROND HERBINA       |
| 23             | FROND HERBINA              | FROND HERBINA       |
| 24             | FROND HERBINA              | FROND HERBINA       |
| 25             | FROND HERBINA              | FROND HERBINA       |
| 26             | FROND HERBINA              | FROND HERBINA       |
| 27             | FROND HERBINA              | FROND HERBINA       |
| 28             | FROND HERBINA              | FROND HERBINA       |
| 29             | FROND HERBINA              | FROND HERBINA       |
| 30             | FROND HERBINA              | FROND HERBINA       |

**GROUND FLOOR - PARKING GARAGE, LOBBIES, COMMERCIAL SPACES**

**SCHEDULE**  
 This forms part of development  
 Permit # **DPIO-0102 / DPIO-008**

**DMG**  
 landscape architects  
 A Partnership of  
 122, Market Lane, Suite 100  
 Victoria, BC V8V 2G6  
 250-681-1111  
 Fax: 250-681-1112  
 Email: info@dmg.ca

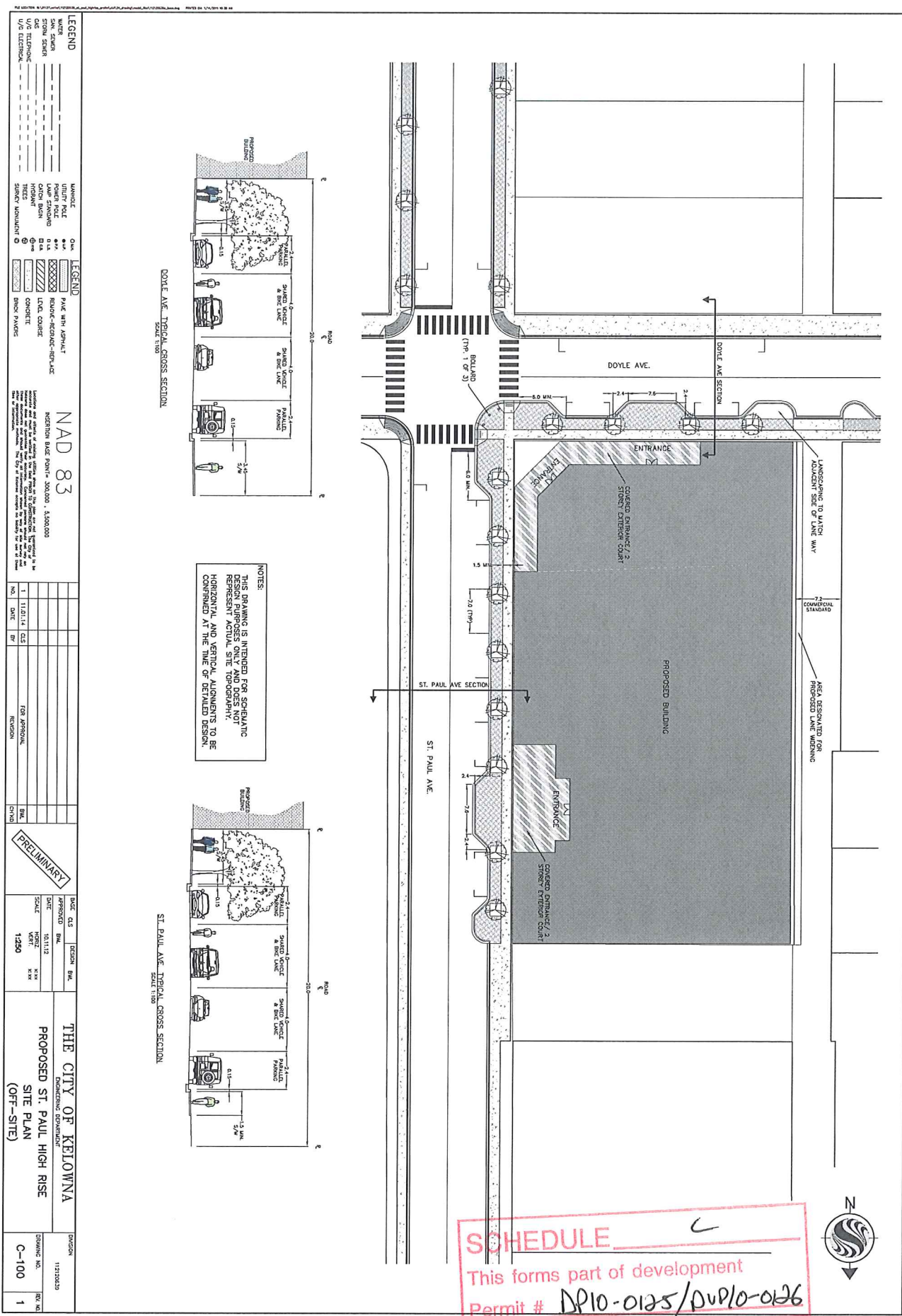
**PROJECT:**  
 2 High Rises Project  
 Corner of Doyle Avenue  
 & St. Paul Street  
 Kelowna, BC

**DRAWING TITLE:**  
 STREET TREE  
 LANDSCAPE PLAN

**DATE:** 06/20/2018  
**SCALE:** 1:200  
**DRAWN BY:** JAV  
**CHECKED BY:** JAV

**DWG PROJECT NUMBER:** 07-109

**DATE:** 07-109



**SCHEDULE** C

This forms part of development  
 Permit # DP10-0125/DP10-0176



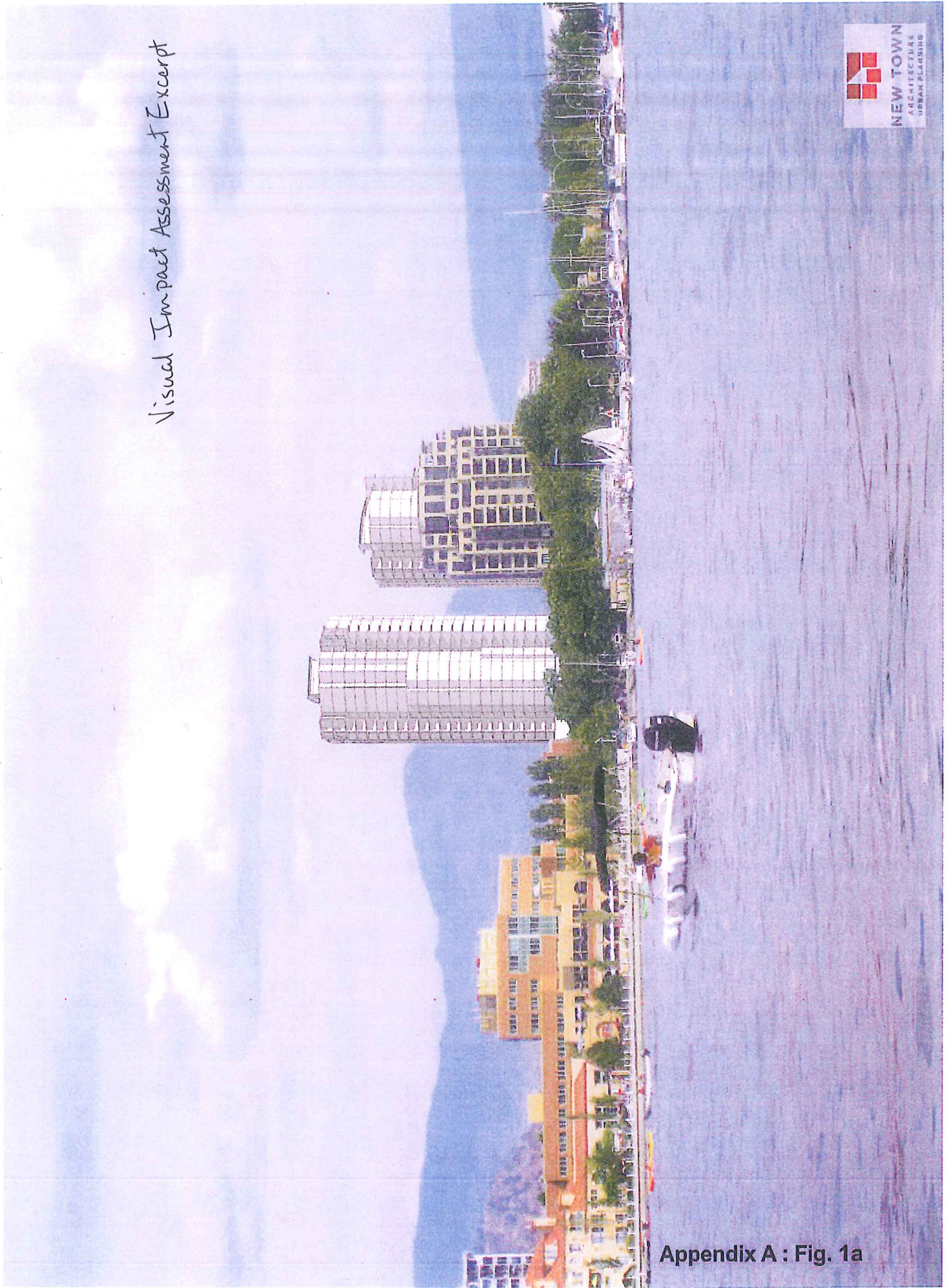
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|--|----------|--------|--------------|---|--------|------|----------|
| NO.  | DATE     | BY     | FUNCTION     | NO.   | DATE   | BY   | FUNCTION |
| 1  | 11.01.14 | CJS    | FOR APPROVAL |   |        |      |          |
| <b>PRELIMINARY</b>   |          |        |              |   |        |      |          |
| DATE   | DATE     | DESIGN | DATE         | DATE  | DESIGN | DATE | DATE     |
| 10.11.12   | 10.11.12 |        | 12.20        | 10.11.12  |        |      |          |
| <b>THE CITY OF KELOWNA</b><br>PROPOSED ST. PAUL HIGH RISE<br>SITE PLAN<br>(OFF-SITE) |          |        |              | DIVISION<br>11210023<br>DRAWING NO.<br>C-100<br>REV. NO.<br>1 |        |      |          |

Visual Impact Assessment Excerpt

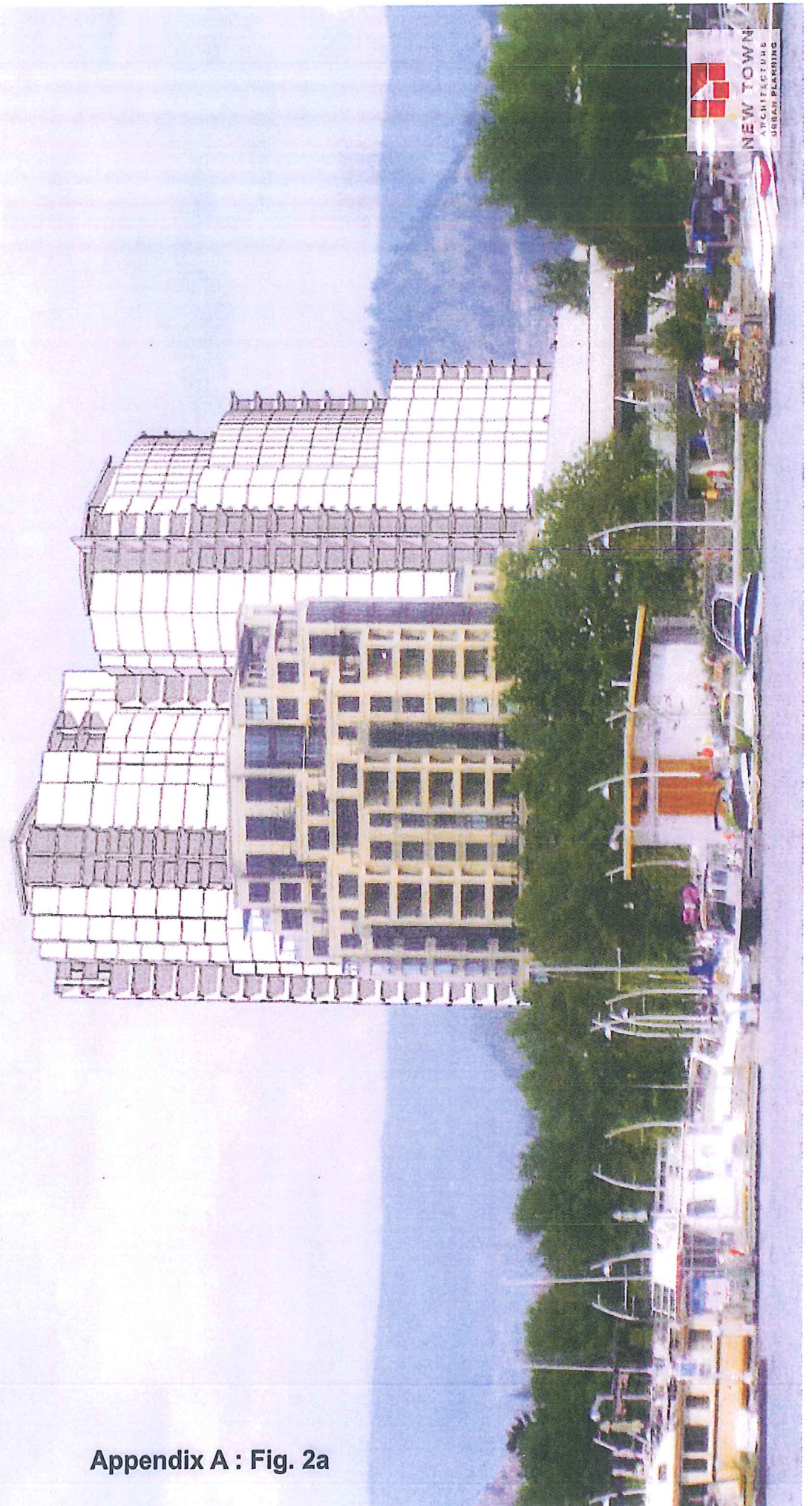


Appendix A: Fig. 1

Visual Impact Assessment Excerpt







Appendix A : Fig. 2a

Visual Impact Assessment Excerpt

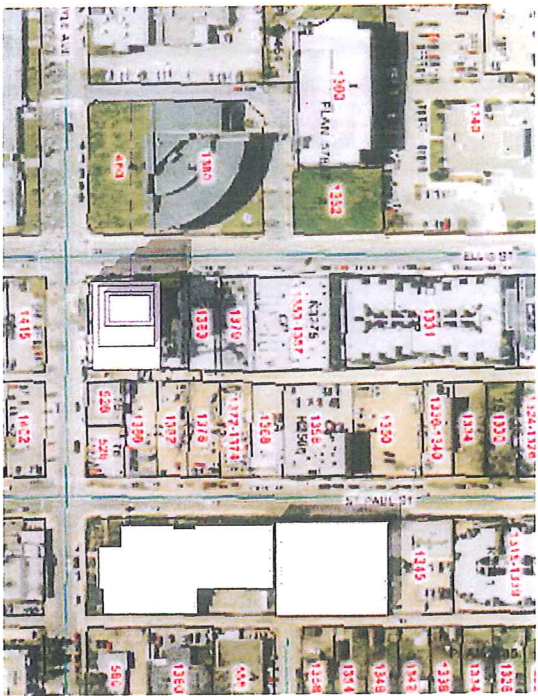


Appendix A : Fig. 3a

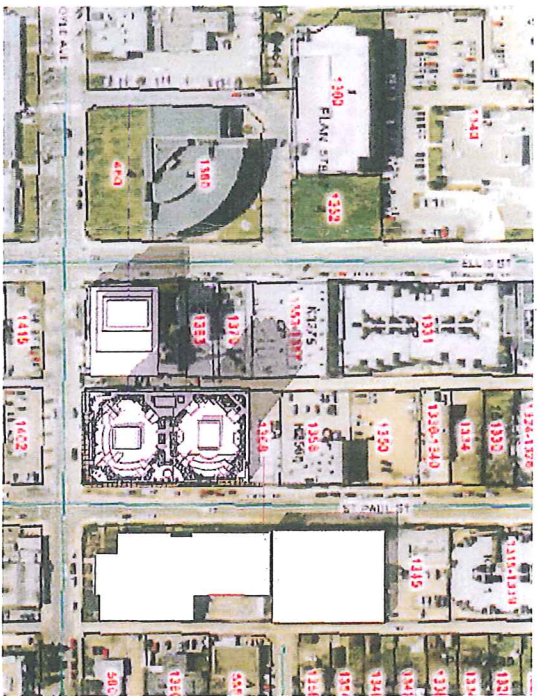
Visual Impact Assessment Excerpt



Appendix A : Fig. 4a



June 22 - 10:00am Without Proposed Building



June 22 - 10:00am With Proposed Building



December 22 - 10:00am Without Proposed Building



December 22 - 10:00am With Proposed Building



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No. Date Description

REVISIONS

project title  
Doyle Avenue  
Two Hi-Rises Project

Project no. 1439

File no. 1439-shadowsstudy

drawing title  
Shadow Study

Solicitor 1000 am

Approved K.F. R.P.B.

Date N.T.S. 2010-08-04

Revision

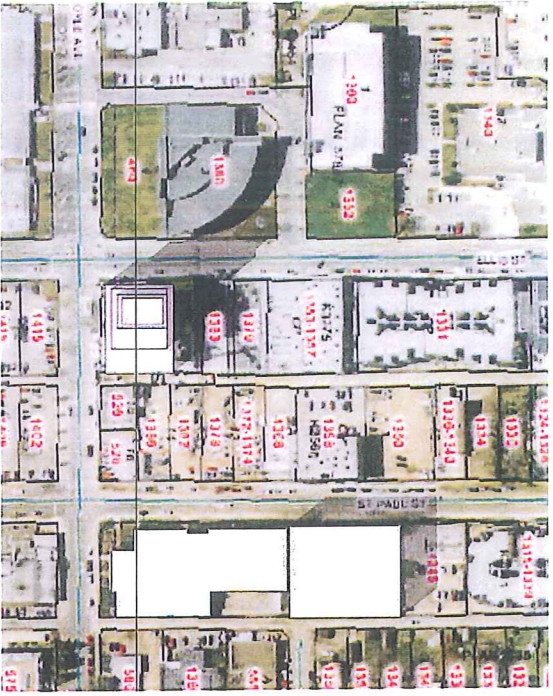
Fig 13



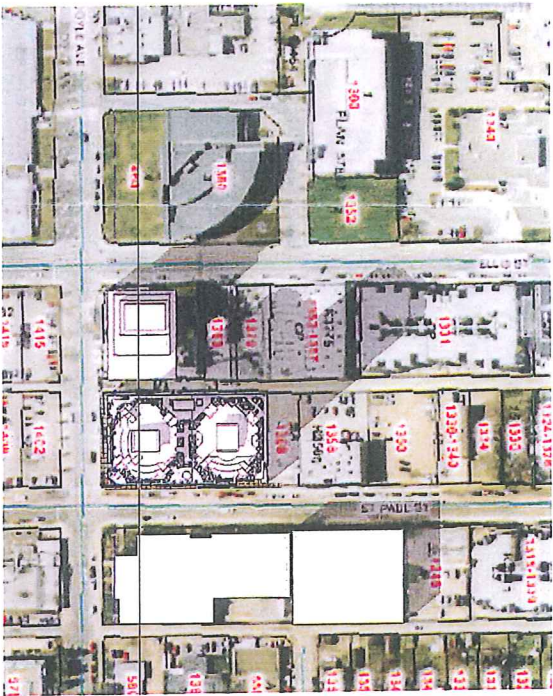
**NEW TOWN**  
ARCHITECTURE

URBAN PLANNING

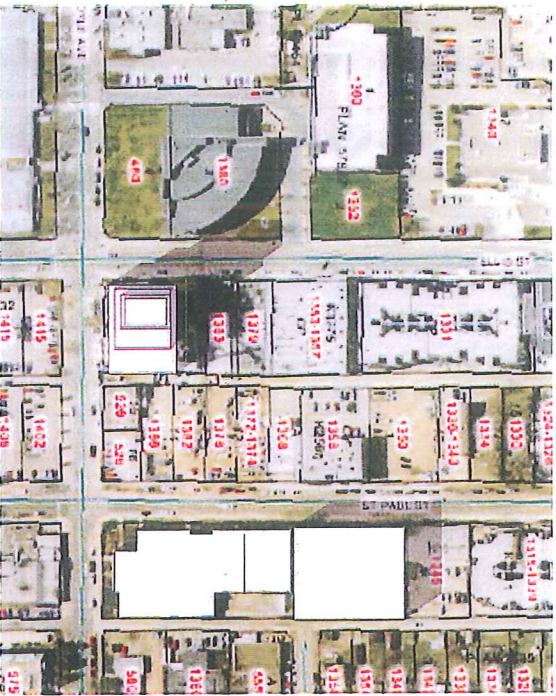
1459 PANDOSY STREET  
KELOWNA, BC V1Y 1P3  
P: 250-800-0985  
WWW.NEWTOWNARCHITECTURE.COM



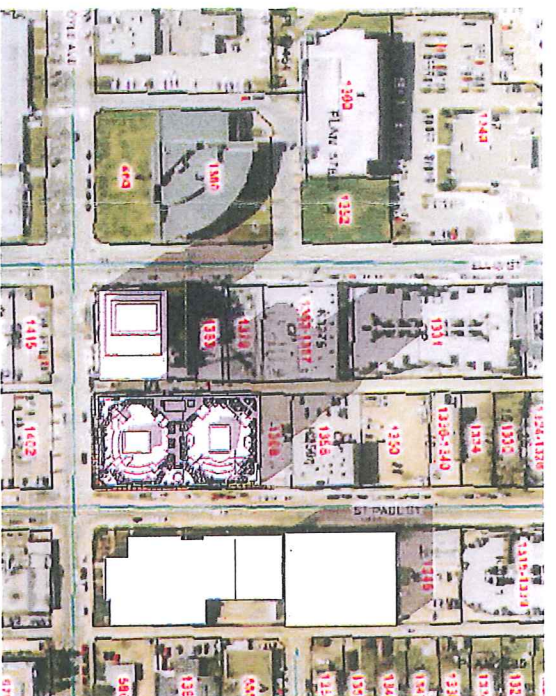
March 22 - 10:00am Without Proposed Building



March 22 - 10:00am With Proposed Building



September 23 - 10:00am Without Proposed Building



September 23 - 10:00am With Proposed Building



Notes:  
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| No.       | Date | Description |
|-----------|------|-------------|
| REVISIONS |      |             |

Project title  
 Doyle Avenue  
 Two HI-Rises Project

Project no. 1439

File no. 1439-shadowstudy

drawing title  
 Shadow Study  
 Equinox 10:00 am

| Author   | Drawn  | Checked | Date       |
|----------|--------|---------|------------|
| K.F.     | R.P.B. |         | 2010-08-04 |
| Scale    | N.T.S. |         |            |
| Revision | None   |         |            |

**Fig 10**



**NEW TOWN**  
 ARCHITECTURE  
 URBAN PLANNING

1430 RANDOLPH STREET  
 KENNESAW, GA 30144  
 P: 233-880-8185  
 F: 233-880-0925  
 WWW.NEWTOWNARCHITECTURE.COM

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**CITY OF KELOWNA**  
**MEMORANDUM**

---

**Date:** November 8, 2010  
**File No.:** DP10-0125 DVP10-0126  
**To:** Planning & Development Services Department (AW)  
**From:** Development Engineering Manager  
**Subject:** 1372 -1386 St Paul Street 526 Doyle Ave Lots 12-16 Plan 432 **The Monaco**

---

Development Engineering has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. AScT

1. Domestic Water and Fire Protection

- (a) The existing lots are serviced with small -diameter copper water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of all existing services and the installation of a fire hydrant and one new larger metered water service.
- (c) The estimated cost of this construction for bonding purposes is **\$25,000.00**. If it is determined that upgrades to the existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.
- (d) The existing 250mm diameter AC watermain on St Paul Street fronting this development is within 4.27m of the property line. Soil compaction of the development site will impact the integrity of this watermain. It is likely that this watermain fronting this development will need replacing. The estimated cost of Watermain replacement for bonding purposes is **\$45,000.00**. Should the integrity of the Watermain on Doyle Avenue also be impacted, additional bonding for its replacement will be required.
- (e) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. The existing lots are connected with small diameter sewer services. The applicant, at his cost, will arrange for the installation of one new larger service, as well as the capping of all existing unused services at the mains. Only one service will be permitted for this development. The estimated cost for construction for bonding purposes is **\$10,000.00**
- (b) It will be necessary to replace approximately 32 lineal meters of existing substandard 150mm diameter AC sanitary main on St Paul Street with 250mm diameter PVC main. The remainder of the 150mm diameter AC main up-to the Doyle Street intersection manhole may be abandoned. The estimated cost for construction for bonding purposes is **\$25,000.00**
- (c) A flow analysis check by the developer's consulting civil engineer will be required to determine the impact of the projected flow contributions to the existing sanitary sewer system and establish if there is sufficient capacity to support the proposed development needs. If it is determined that upgrades to the existing sanitary sewer system must be made, additional bonding will be required.

3. Storm Drainage

- (a) It will be necessary for the applicant to extend the piped storm drainage collection system in the rear lane including the installation of a catch-basin and manhole. The cost of these works is included in the road upgrading cost estimates.
- (b) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and /or recommendations for onsite drainage containment and disposal systems. The on-site drainage system may be connected to an existing or proposed drainage system with an overflow service. The estimated cost for providing a overflow service for bonding purposes is **\$ 10,000.00**
- (c) The existing storm main on Doyle Avenue fronting this development is within 5.50m of the property line. It is anticipated that the soil compaction of the development site will impact the integrating of this main. It is likely that the existing man will need to be repaired or replaced. The estimated cost of main replacement for bonding purposes is **\$35,000.00**

4. Road Improvements

- (a) Doyle Avenue fronting this development site is urbanized but the existing curb and sidewalk is in a deteriorated state. The upgrades will require curb, gutter and sidewalk removal and reconstruction as well as the re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.

The developer shall use the same vocabulary of streetscape elements as that used for the Madison frontage (Doyle Avenue). Although the materials and pattern need not be identical, the general character shall be replicated through use of the same surface colors, benches, bollards, and the curb let-down details. Tree spacing shall match the existing spacing along the Doyle Ave. Contact the City Planning Specialist, Pat McCormick @ [pmccormick@kelowna.ca](mailto:pmccormick@kelowna.ca) for further input on the streetscape design.

Urban Braille shall be incorporated as an extension to the Madison frontage. The applicant is encouraged to use the resources of The Canadian National Institute for the Blind (CNIB). Contact: [Walter.Stancec@cnib.ca](mailto:Walter.Stancec@cnib.ca)

The estimated cost of the road improvements and anticipated reconstruction, for bonding purposes is **\$75,000.00**. If it is determined that additional road reconstruction is required, additional bonding will be required. Soil compaction of the development site will impact the integrating of the frontage roads.

The decommissioning of existing services and installation of new services will also require road cuts. The extent of pavement restoration will be at the discretion of the City Development Engineer.

- (b) Saint Paul Street fronting this development must be upgraded to a full urban standard including a new sidewalk, curb and gutter, storm drainage system including catch basin modifications, pavement widening, and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.

The developer shall use the same vocabulary of streetscape elements as that used for the Madison frontages (Ellis Street and Doyle Avenue). Although the pattern need not be identical, the general character can be replicated through use of surface materials, benches, bollards and vegetation.

The tree spacing along St. Paul should be approximately the same as Doyle Ave.

The estimated cost of the road improvements and reconstruction, for bonding purposes is **\$145,000.00**

- (c) Lane adjacent to this development site will require widening and reconstruction to a paved commercial standard including the extension of the piped drainage system. The estimated cost of this construction for bonding purposes is **\$25,000.00**



5. Road Dedication and Subdivision Requirements

- (a) Dedicate widening of the rear lane to provide the required widening to provide an ultimate 7.6m wide commercial standard lane.
  - (i) 6.0m radius corner rounding at the Doyle Ave, Saint Paul St corner.
  - (ii) Lot consolidation.
  - (iii) Grant statutory rights-of-way if required for utility services.

6. Electric Power and Telecommunication Services

- (a) The development site is within the Urban Town Center. Electrical and telecommunication services to this site as well as the local distribution wiring must be installed in an underground duct system. The existing building and the proposed new building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

7. Street Lighting

- (a) Street lights are installed on St Paul Street and Doyle Ave fronting the proposed development. Re-location or adjustments to the existing street lighting system may be required to accommodate the road upgrading construction.

8. Engineering

- (a) Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.
- (b) The Developer's Civil Consultant will inspect the condition of all existing infrastructure fronting this development and provide a pre-construction video report of the storm and sanitary mains to the City Engineer. After soil compaction is complete, the condition of the infrastructure shall be inspected and a new video report provided by the consultant complete with the engineer's findings and recommendations.
- (c) Of particular concern is the 250mm diameter AC water main that is within 4.70 meters of the property line on St Paul Street. A contingency plan should be in place in the event of a main break.
- (d) A separate application will be required by the developer's consultant prior to commencement of pre-loading. Development Engineering will provide a "Notice to Proceed" once all the requirements are met.

9. Geotechnical Report

- (a) As a requirement of this application and / or prior to issue of a building permit, the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:
- (b) Area ground water characteristics.
- (c) Site suitability for development; i.e. unstable soils, etc.
- (d) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyze soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (e) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

10. Survey Monuments and Iron Pins

- (a) If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

11. Bonding and Levy Summary

(a) Bonding

|                              |              |
|------------------------------|--------------|
| Watermain and servicing      | \$ 70,000.00 |
| Sanitary Mains and servicing | \$ 35,000.00 |
| Storm Mains and servicing    | \$ 45,000.00 |
| St. Paul Street Rd frontage  | \$145,000.00 |
| Doyle Avenue frontage        | \$ 75,000.00 |
| Lane upgrading               | \$ 25,000.00 |

Total Bonding

**\$395,000.00**

If it is determined that upgrades to the existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.

If it is determined that additional reconstruction of works including; roads, utilities, services, etc, must be made as a result of soil compaction, additional bonding will be required.

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format. The owner must also enter into a servicing agreement in a form provided by the City.

12. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as ( 3% of Total Off-Site Construction Cost plus HST ) **\$9,479.96**  
(\$8,464.25 + \$1,015.71)

13. Latecomer Protection

Under provisions of Section 990 of the BC Municipal Act, and in conformance with the City of Kelowna Subdivision Development & Servicing Bylaw No. 7900, the owner is eligible to apply for latecomer protection for the following:

- (i) Lane paving and storm drainage system within the lane

14. Development Variance Permit and Site Related Issues

The development variance permit to vary the maximum height requirement does not compromise our servicing requirements.

---

Steve Muenz, P. Eng.  
Development Engineering Manager  
JF/jf



Land Use Management  
 1435 Water Street  
 Kelowna, BC V1Y 1J4  
 250 469-8626  
 kelowna.ca/landuse  
 sustainability@kelowna.ca

# Sustainability Checklist

Commercial or Multi-unit Development  
 with Rezoning

Project Name or Location KONACO - ST. PAUL & DOYLE AVE  
 Applicant Name NEWTOWN PLANNING / POINTS WEST ARCHITECTURE  
 Organization PREMIER PACIFIC GROUP

## ECONOMIC SUSTAINABILITY

|  | Score | Points |
|--|-------|--------|
| Building uses: (IF APPLICABLE, SELECT ONE FROM LIST)   |       |        |
| <input checked="" type="checkbox"/> 3 or more uses (ie. Office space, retail & residential)                                      | 3     | 3      |
| <input checked="" type="checkbox"/> 2 uses or types of residential (ie. retail & residential or townhouse & low-rise apartments) | 2     | 2      |
| Employs local contractors (some, most or all) during construction  | 5     | 2-5    |
| Construction products and supplies sourced within the region   | 2     | 1-2    |
| TOTAL  | 10    | 10     |

## ENVIRONMENTAL SUSTAINABILITY

|   | Score | Points |
|---|-------|--------|
| Green Building Certification being sought   |       |        |
| <input type="checkbox"/> LEED   |       | 5      |
| <input checked="" type="checkbox"/> BuiltGreen, Green Globe or other (please specify) _____ | 3     | 3      |
| Recycled Materials used in Building Construction  | 2     | 2      |

### Green Space

|  |   |     |
|--|---|-----|
| Design includes Shared Green Space (ie. Rooftop garden, community garden)  | 3 | 2-3 |
| Environmentally-Sensitive Areas Protected during construction phase (ie. Fenced)<br>or<br>No Environmentally Sensitive Area to protect | 2 | 2   |

### Air Quality

|  |   |   |
|--|---|---|
| Co-op Car(s) or Transit Passes for Building Occupants (secured through an agreement)       | 2 | 2 |
| Natural Ventilation (ie. Windows that open)  | 2 | 2 |
| Safe & Accessible Bicycle Storage Facilities   | 2 | 2 |
| Trees planted on the site beyond zoning requirements (not including any replacement trees) |   |   |
| <input type="checkbox"/> 1-5 trees   |   | 1 |
| <input type="checkbox"/> 5 +   | 2 | 2 |
| No Fast Food Drive Thru facilities   | 1 | 1 |

### Water Quality & Quantity

|  |   |   |
|--|---|---|
| Recycling of grey water  |   | 4 |
| 50% of area outside of permitted site coverage is permeable or unpaved surface   |   | 2 |
| Irrigation system employs conservation technology (ie. Drip irrigation)<br>or<br>No irrigation system required for landscaping | 2 | 2 |
| Rainwater collection<br>or<br>Water conservation beyond building code requirements   | 2 | 2 |
| Xeriscaping for water conservation   |   |   |

|  |   |   |
|--|---|---|
| or<br>Landscaping with indigenous vegetation (drought resistant) | 2 | 2 |
|--|---|---|

**Energy Conservation**

|   |               |     |
|---|---------------|-----|
| Renewable Energy Source(s) for Building, such as geo-thermal, solar photovoltaic, air pumps, etc. Please Specify: _____ | 1             | 2-4 |
| Building Orientated and/or Designed to Maximize Energy Savings  | 2             | 2   |
| Low Energy Windows Installed throughout Building(s)   | 2             | 2   |
| Pre-Heating Water Energy Technology to be Employed ( <i>Solar assist</i> )  | 2             | 2   |
| Energy Efficient Features (lighting, appliances, etc.)  | 2             | 2   |
| SUBTOTAL  | <del>37</del> | 45  |

**SOCIAL SUSTAINABILITY**

|   | Score | Points |
|---|-------|--------|
| Provides Indoor or Outdoor Social/Recreational Amenity (i.e. community meeting place, dog park, public community garden, etc.). Please Specify: <i>ARCHIVE - GALLERY - FOYERS</i> | 2     | 2-3    |
| Designed According to Crime Preventions Through Environmental Design (CPTED) Principles (staff can provide document)  | 2     | 2      |
| SUBTOTAL  | 4     | 5      |

**CULTURAL SUSTAINABILITY**

|  | Score | Points   |
|--|-------|----------|
| Voluntary Streetscaping Improvements, such as benches, planters, or lighting upgrades  | 4     | 2-4      |
| City Design Guidelines & Staff Comments Addressed in Project Design  | 3     | 1-3      |
| Heritage Site Identified and Recommendations for Conservation Followed<br>or<br>No Disturbance to a Heritage Site/No Heritage Site | 3     | 1-3<br>3 |
| Public Art Provision<br>or<br>Significant Public Amenity (i.e. covered walkway, fountain, etc.) Please Specify: _____              | 3     | 1-3      |
| Connectivity from site to Parks, Bike Paths, Pedestrian Walkways, or Local Amenities (shops, medical centre, etc.)                 | 2     | 2        |
| SUBTOTAL   | 15    | 15       |

**BONUS**

|  | Score         | Points |
|--|---------------|--------|
| Other Sustainability Measure(s), including but not limited to:<br>▶ Rehabilitation of a Natural Feature (i.e. wetland); <u>Green Roof</u> ; Accessible Design Beyond Building Code; Child-Friendly Design.<br>Please provide details below | 5             | 1-10   |
| ECONOMIC SUBTOTAL  | 10            | 10     |
| ENVIRONMENTAL SUBTOTAL   | <del>37</del> | 45     |
| SOCIAL SUBTOTAL  | 4             | 5      |
| CULTURAL SUBTOTAL  | 15            | 15     |
| TOTAL  | <del>79</del> | 85     |

**ADDITIONAL DETAILS**

# CITY OF KELOWNA

## APPROVED ISSUANCE OF A:

Development Permit No.: DP10-0125 & DVP10-0126

|                                 |                                       |
|---------------------------------|---------------------------------------|
| EXISTING ZONING DESIGNATION:    | C7 - Central Business Commercial      |
| WITHIN DEVELOPMENT PERMIT AREA: | Comprehensive Development Permit Area |

|                           |                                 |
|---------------------------|---------------------------------|
| ISSUED TO:                | New Town Planning Services Inc. |
| LOCATION OF SUBJECT SITE: | 526 Doyle Avenue                |

|                    | LOT   | BLOCK | D.L. | DISTRICT | PLAN    |
|--------------------|-------|-------|------|----------|---------|
| LEGAL DESCRIPTION: | Lot A |       | 139  | ODYD     | EPP9526 |

### SCOPE OF APPROVAL

- This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
- This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
- Applicants for a Heritage Alteration Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

### 1. TERMS AND CONDITIONS:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 (a) - Development Regulations - Height

Vary height from 44m permitted to the proposed 63.4m for Tower #1 and 74.3m for Tower #2.

Section 14.7.5 (g) - Development Regulations - 80° Inclined Angle

Vary the inclined plane above 15m from 80° permitted to 86.56° for the western elevation of each tower.

Section 14.7.5 (h) - Development Regulations - Floor Plate Area

Vary the maximum floor plate area for Tower #1 from 676m<sup>2</sup> permitted to 822.65 m<sup>2</sup> (Floors 5-11) - 716.75 m<sup>2</sup> (Floors 12-18) and for Tower #2 from 676m<sup>2</sup> to 822.65 m<sup>2</sup> (Floors 5-11) - 773.9 m<sup>2</sup> (Floors 12-18) - 695.4 m<sup>2</sup> (Floors 19-24);

Section 14.7.5 (i) - Development Regulations - Horizontal Dimension above 15m

Vary the maximum horizontal dimension above 15m for both towers from 26m permitted to 37.8m x 31.24m proposed;

Section 14.7.5 (l)(i) - Development Regulations - Setbacks above 15m

Vary the building setback from an interior lot line (north) from 15m required to 4.47m proposed for portions of a building above 22m;

Section 14.7.5 (l)(ii) - Development Regulations - Setbacks above 15m

Vary the building setback from a lot line abutting a lane from 10m required to 3.63m proposed for portions of a building above 22m;

Section 14.7.5 (l)(iii) - Development Regulations - Setbacks above 15m

Vary the separation distance between more than one tower on the same property from 30m required to 9.29m proposed for portions of a building above 22m.

2. The development shall commence by and in accordance with an approved Building Permit within ONE YEAR of the date of the Municipal Council authorization resolution.

3. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferrable unless specifically Permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

**THIS Permit IS NOT A BUILDING Permit.**

3. PERFORMANCE SECURITY:

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development Permitted by this Permit within the time set out above, the security shall be returned to the Permittee. There is filed accordingly:

- (a) Cash in the amount of \$                     N/A                    .
- (b) A Certified Cheque in the amount of \$                     N/A                    .
- (c) An Irrevocable Letter of Credit in the amount of \$                     TBD at issuance                    .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Director of Planning & Development Services.

Should there be any change in ownership or legal description of the property, I undertake to notify the Land Use Management Department immediately to avoid any unnecessary delay in processing the application.

**I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.**

\_\_\_\_\_  
Signature of Owner/Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name in Bold Letters

\_\_\_\_\_  
Telephone No.

5. APPROVALS:

DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT AUTHORIZED BY THE COUNCIL ON THE @ DAY OF @, 2012

ISSUED BY THE LAND USE MANAGEMENT DEPARTMENT OF THE CITY OF KELOWNA THE \_\_\_\_\_ DAY OF @, 201@ BY THE DIRECTOR OF LAND USE MANAGEMENT.

\_\_\_\_\_  
Shelley Gambacort  
Director of Land Use Management